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May 15<sup>th</sup>, 2026

**Town of York Planning Board  
York Town Hall  
2668 Main Street  
P.O Box 187  
York, NY 14592**

**Re: Scott Chauncey  
3678 Main Street  
Piffard, NY 14533  
Proposed 5-unit apartment building**

**Dear Members of the Planning Board,**

We are pleased to present this application to the Town of York Planning Board for Site Plan approval for the development of five (5) residential unit building.

The project will consist of the conversion of an existing one-story commercial building into a five-unit residential apartment building. The existing building, while varying in size, has an overall footprint of 152' x 30' with a total of 38 parking spaces provided. The building will consist of (4) 2-bedroom apartments between 700 and 740 sq. ft in size and (1) 3-bedroom apartments with 1065 sq. ft in size.

There will be no expansion of the building's footprint or height and no new impact on existing setbacks or drainage.

For your review, we have attached the following documents:

- Site Plan
- Building Floor Plans
- Building Elevations
- Two letters regarding compliance with the NYS State Codes and review of the Multiple Residence Law
- Design and Site Plan Review Application
- All forms and Information to NYS State Environmental Quality Review Act (SEQRA)
- National Grid Utility Survey
- Supporting and supplemental documents

Should you have any questions or require any additional materials prior to completing your review, please contact our office at your earliest convenience.

**Sincerely,  
Dean Architects,**

**Mark A. Dean,**  
Principal + RA, NCARB, AIA  
LEED Green Associate



TOWN OF YORK  
APPLICATION FOR REVIEW AND APPROVAL OF SITE PLAN

Application # \_\_\_\_\_  
Preliminary \_\_\_\_\_  
Final \_\_\_\_\_

Applicant Name Chauncey Homes LLC

Owner & Address, if different \_\_\_\_\_

Address: 418 Broadway Ste 4791, Albany NY 12207

Phone #: 585-969-1141 Phone #: \_\_\_\_\_

I, the undersigned applicant/owner hereby request approval by the Town of York Planning Board for the following site plan(s).

2517 Genesee St, Piffard NY 14533 Date: May 15, 2026

Plan prepared by the following licensed engineer and/or land surveyor:

Name: Dean Architects Phone #: (716) 651-0381

Address: 8353 Main St, Williamsville, NY 14221

Name of site plan: 2517 Genesee St, Piffard NY 14533

Proposed use of site: Five residential apartments

Will you be applying for a tax exemption (other than a RPTL485-b, business exemption)? No

Location of proposed site plan (distance and direction to nearest road intersection) \_\_\_\_\_

2517 Genesee St, Piffard NY 14533; corner of Route 36 and Route 63

Tax Map #: 60.20-1-24.12 Total site area (square ft./acres): 1.4 acres of parcel

Zoning district: Hamlet Commercial (HC) Current use of land: Mixed-use (residential primary, plus commercial)

Current condition of site (buildings, brush, etc.): Improved site (buildings, parking lot, greenspace - all pre-existing)

Character of the surrounding lands (agricultural, wetlands, commercial, suburban, etc.): Residential/suburban

Is the property in a flood hazard district area? No

Describe any casements and/or other restrictions on the property: Typical utility easements only

Names of adjoining property owners or owners directly across highway/with tax map #: \_\_\_\_\_

2513 Genesee St: 60.20-1-15.2 (Justin and Elissa Abbott); 3666 Main St: 60.20-1-20.1 (Kristy Rapone)  
York Travel Center

Are there any state and federal permits required? None

List type and appropriate department: None

**ADDITIONAL FORMS REQUIRED:**

**SEQR FORM** – check with Code Enforcement Office to see which form is needed

1. SEQR Forms – a completed EAF (front only) – short form or the long form

**AG DATA STATEMENT**

If the proposed activity will be on property within an agricultural district containing a farm operation or on property with boundaries within 500 ft. of a farm operation located within an agricultural district, then an ag data statement must be completed.

Check with Town Assessor for property owners to be listed on the form.

**REVIEW ITEMS** (these may be further reviewed by the Planning Board)

A complete site plan checklist and the zoning code are available from the code enforcement office

1. Building location: 2517 Genesee St, Piffard NY 14533

2. Building uses, both primary and secondary uses, ground floor area height, and number of stories of each building:

Building #1: 3670 Main St - Residential 1 story; Building #2: 3678 Main St - Residential 2 story

Building #3: 2519 Genesee St - Residential 2 story; Building #4 (proposed): 2517 Genesee St - Residential 1 story

3. Building(s) architecture/colors/textures/design – compatibility with character of York: \_\_\_\_\_

No significant change to color or design, change characteristics from commercial to residential (ie garage doors)

4. Parking (number of spaces and location): 38 spots, 31 tenant 7 guests

5. Lighting (lighting plan may be required): None existing for residential use; will be adding lighting to parking area for safety

6. Traffic/Road(s) location: Ingress/egress on Route 36 only

7. Is public water available? Yes Is public sewer available? Yes

8. Landscaping (landscaping plan may be required): No material changes

This application was reviewed by the code enforcement officer:

\_\_\_\_\_ Date: \_\_\_\_\_

Final Approval granted on: \_\_\_\_\_

5/1/06

Date

Signature of Planning Board Chairman



Chauncey Homes LLC  
2517 Main Street  
Piffard NY 14533  
(585) 969-1141  
scottmchauncey@gmail.com

## **Planning Board Submission – Preliminary Site Plan Narrative**

**Applicant:** Chauncey Homes LLC

**Project:** Conversion of existing commercial building into 5 apartments

**Location:** 2517 Genesee Street, York, NY

Dear Members of the Planning Board,

Chauncey Homes LLC respectfully submits this application for Preliminary Site Plan Review for the adaptive reuse of an existing one story commercial building at 2517 Genesee Street into five residential dwelling units.

This submission package includes:

1. Stamped architectural site plan and building construction documents
2. Town site plan application
3. Short Environmental Assessment Form
4. §1103 Compliance Matrix
5. Parking plan with numbered parking spaces
6. Architect letters addressing code, design, and building configuration
7. Supporting site plan narrative and supplemental materials

The purpose of this cover letter is to summarize the key planning considerations for the Board.

### **1. Existing Building Reuse, No Expansion, No New Setback Impact**

This project is an adaptive reuse of an existing developed site and existing building. The proposed residential dwelling units are located within the existing building footprint. The project does not expand the building footprint, increase building height, reduce existing setbacks, or move the building closer to any neighboring structure.

Article VII of the Town of York Zoning Code expressly recognizes the continued existence of pre-existing nonconforming uses, structures, buildings, and lots. Section 701 states:

“This Section regulates and limits the continued existence of uses, structures, and lots, and all accessory uses and structures, established prior to the effective date of this Chapter that do not conform to the regulations of this Chapter applicable in the zoning

districts in which such nonconformities are located. Such nonconforming uses, buildings, or lots may be continued in conformance with the regulations set forth in this Chapter.”

The existing building location, setback relationships, and building separation conditions are longstanding pre-existing site conditions. The application does not enlarge or extend the existing building and does not reduce any setback. The project therefore does not create a new nonconformity and does not increase the degree of any existing nonconformity.

This is consistent with Section 702(A)(3), which provides:

“No nonconforming building or structure shall be enlarged, extended, or increased unless such enlargement would tend to reduce the degree of nonconformance. This shall not be interpreted to prohibit additions to residential dwellings that do not impact the degree of nonconformance with regards to setbacks or minimum lot size.”

Here, there is no building enlargement, extension, or increase. Even if the existing setback condition is treated as nonconforming, the proposed work does not impact the degree of nonconformance with regard to setbacks or minimum lot size.

Section 702(A)(4) also confirms that the Zoning Code should not prevent work necessary to make an existing building safe:

“Nothing in this Chapter shall prevent the strengthening or restoration to a safe condition any wall, roof, floor, or other structural component which has been declared as unsafe by the Code Enforcement Officer under the NYS Uniform Codes.”

The proposed work is consistent with that principle. The project rehabilitates and modernizes an existing building by adding residential life safety improvements, code compliant egress, fire rated separations, and improved emergency access.

The proposed conversion therefore reduces the overall degree of nonconformity by moving the site away from the prior commercial condition and into a residential use that is permitted and more compatible with the district.

For these reasons, the applicant respectfully submits that any existing setback or building separation issue should be treated as a pre-existing condition that is not being expanded, worsened, or made more nonconforming by this application.

## **2. Building Code, Fire Separation, and Life Safety Improvements**

The submitted stamped plans are supported by two attached architect letters from Dean Architects addressing the building code, party wall, fire separation, sprinkler, and Multiple Residence Law issues.

The architect confirms that the building has been designed as multiple two-family dwelling buildings through the use of party walls. The architect further states that these party walls are to

be constructed without openings and “shall create separate buildings.” This design supports the use of the 2025 Residential Building Code of New York State.

This is important because the Town’s concern has focused heavily on building separation and setbacks. For fire safety and building-code purposes, the architect cites Table R302.1(1) of the 2025 Residential Building Code and states that the minimum fire separation distance between separate dwelling units located on the same lot is 5 feet and does not need to be fire-resistance rated. The existing building separation at issue is approximately 16 feet, which is more than three times the 5 foot Uniform Code fire-separation distance cited by the architect.

The architect also confirms that the building is only one story, that the cited sprinkler requirement is not triggered, and that the building has been designed and fire rated according to the 2025 Building Code of New York State and 2025 Residential Building Code of New York State.

The second architect letter was provided in response to the Town Attorney’s request regarding Multiple Residence Law. That letter states that under Multiple Residence Law Article 9, Section 329.2, once a municipality has adopted a state building construction code, the relevant construction provisions of the Multiple Residence Law are inoperative and not applicable.

The project improves life safety compared to the prior condition by adding fire rated separation assemblies, party wall configurations, code compliant dwelling layouts and egress, improved compartmentalization, improved emergency access, and a dedicated fire lane along the Route 63 frontage.

The project does not increase the existing building mass, reduce building separation distances, or create new encroachments. It improves an existing building through modern residential construction and fire separation measures. The applicant respectfully submits that building code, fire separation, party wall, sprinkler, and Multiple Residence Law construction issues are addressed by the stamped architectural plans and architect letters.

### **3. Parking and Circulation**

Section 519(C) of the Town Code establishes the minimum required off-street parking standards. Based on the residential uses on the site, including the proposed five new apartments and the existing apartments, the project requires 29 parking spaces.

The submitted parking plan in Exhibit B provides 38 total parking spaces, exceeding the Town Code requirement by 9 spaces. The spaces are numbered and organized to support assigned tenant parking and guest parking.

The parking plan is designed to keep parking fully internal to the site, prevent overflow parking onto public roadways, and allow safe two-way vehicle circulation. Tenant vehicles will be required to be registered, insured, and tied to residential occupancy, and tenants will be limited to two vehicles per unit.



Each parking space will be identified with numbered signage. Where needed, spaces will also be controlled with surface-mounted wheel stops, similar to the example shown, pinned in place on the existing gravel surface without grading, excavation, paving, or reconstruction of the parking area.

*Example surface-mounted wheel stop for parking space control. Photo provided for reference only.*

*Current and Proposed Apartment Count with Required Parking Calculation, per §519(c):*

Building	Size	Required Parking
2519 Genesee St	Apt 1 - Studio	1 Space
	Apt 2A - 2 Bed	2 Spaces
	Apt 2B - 2 Bed	2 Spaces
	Apt 3 - 2 Bed	2 Spaces
	Apt 9 - 1 Bed	1 Space
3678 Main St	Apt 4 - 2 Bed	2 Spaces
	Apt 5 - 3 Bed	2 Spaces
	Apt 6 - 2 Bed	2 Spaces
	Apt 8 - 1 Bed	1 Space
	Apt 10 - 3 Bed	2 Spaces
3670 Main St	Apt 7 - 2 Bed	2 Spaces
2517 Genesee St	Apt 11 - 3 Bed	2 Spaces
	Apt 12 - 2 Bed	2 Spaces
	Apt 13 - 2 Bed	2 Spaces
	Apt 14 - 2 Bed	2 Spaces
	Apt 15 - 2 Bed	2 Spaces
	Total	29 Spaces

The proposed residential use will also result in lower and more predictable traffic than the prior commercial use, which involved higher turnover, delivery vehicles, service vehicles, and less controlled circulation. Overall, the parking plan exceeds the Town Code requirement and creates a safer, more organized site condition.

**4. Route 63 Emergency Access, Fire Lane, and Roadway Safety**

The plan eliminates regular vehicular access from Route 63. The Route 63 frontage will be controlled as an emergency access and no-parking corridor only, with no regular parking, no regular entry, and no regular exit.

The primary fire and emergency apparatus access will remain from Route 36 and the internal site circulation. The Route 63 corridor is intended to supplement and support that primary

access by remaining clear for responder access, hose access, pedestrian safety, and emergency operations.



The applicant also discussed this access concept with the Fire Chief. Based on that discussion, the applicant is proposing to control the Route 63 entrance with a swinging gate or similar emergency-access gate system. The purpose is to prevent regular tenant, guest, and civilian vehicle access while preserving emergency access when needed.

*Example swinging gate concept for Route 63 emergency access entrance. Photo provided for reference only; Final gate type, placement, and access method can be coordinated with the Fire Chief and applicable emergency responders.*

The existing building-to-building corridor is approximately 16 feet wide and will remain gravel. The applicant will maintain this area as a clear, unobstructed emergency access and no-parking corridor. No parked vehicles, stored materials, outdoor storage, dumpsters, or snow storage will be permitted in this area.

The area will be posted with reflective signage, including signs such as:

NO PARKING  
KEEP CLEAR AT ALL TIMES  
EMERGENCY ACCESS ONLY  
NO PARKING OR STORAGE  
UNAUTHORIZED VEHICLES SUBJECT TO TOWING AT OWNER'S EXPENSE

The applicant will enforce these restrictions through tenant rules, signage, lease enforcement, and towing where permitted. This improves safety by eliminating unnecessary turning conflicts onto Route 63, preserving a clear supplemental emergency access corridor, and preventing ambiguity about parking or vehicle access along the Route 63 frontage.

## **5. Pedestrian Safety and Site Function**

By closing the Route 63 frontage to regular vehicle use, apartments that would otherwise open toward a drive aisle will instead open toward a non-vehicular fire lane area. This improves pedestrian safety for residents and reduces conflict between people, parked vehicles, and moving vehicles. The corridor will be posted with reflective “No Parking / Fire Lane / Keep Clear” signage and controlled by a swinging gate.

The proposed layout also creates a more orderly residential site, with defined parking, defined circulation, improved access control, and safer movement through the property.

The applicant also understands the Town is exploring grant opportunities for expanded sidewalk and crosswalk improvements near the Route 36 / Route 63 intersection. While those improvements are outside the scope of this site plan application, the applicant supports those efforts and believes the proposed site layout, including removal of regular vehicle access from Route 63, is consistent with the Town's broader pedestrian safety objectives.

## 6. Green Space, Lighting, Snow, and Site Maintenance

The project provides approximately 19,889 square feet of green space for resident use. This open space will help convert the site from a prior commercial condition into a more residential setting, with open lawn area, seating, picnic tables, grills, and community-use outdoor space.

Existing vegetation and green space will be retained where practical and used as natural buffering. The proposed layout improves the appearance and function of the property while preserving the rural/residential character of the area.

Solid waste and recycling will be maintained in a designated on-site location and screened to minimize visibility from residents, neighboring properties, and public roadways. A screened dumpster/enclosure location is shown on the site plan.



Low-profile residential lighting will be added near the parking areas to improve nighttime visibility and safety. Lighting will be directed and controlled to minimize glare and off-site light spill.

*Example fixture shown for reference only; final fixture may vary but will be comparable low-profile, motion-sensing dusk-to-dawn LED lighting directed to minimize glare and off-site light spill.*

The site plan also provides approximately 3,322 square feet of designated snow storage area, equal to approximately 15.6% of the parking area. This exceeds the 10% snow storage requirement and ensures snow can be stored on site without reducing required parking, blocking entrances, interfering with pedestrian areas, or obstructing the Route 63 fire lane.

The applicant will maintain a winter operations plan. Snow removal will begin at approximately two inches of accumulation, a local insured vendor will be used, and parking areas, entrances, walkways, and the fire lane will be kept clear. Salt will be applied as needed to reduce icy or hazardous conditions.

## 7. Utilities, Water, and Sewer

The project will use the existing water and sewer infrastructure already serving the property. The building is connected to an existing 4 inch sewer line, and the proposed residential use does not create unusual or extraordinary demand beyond normal residential use.

Based on New York State code fixture calculations, the proposed building is calculated at approximately 55 drainage fixture units. The minimum rated capacity of a 4 inch sewer line is 160 drainage fixture units, meaning the proposed building would use approximately 34% of the minimum rated capacity.

The site is already connected to existing water infrastructure, and the proposed residential conversion will not create any unusual or high-demand water use.

Utility coordination has been completed with National Grid. The National Grid survey is attached to this application as Exhibit D, and National Grid has designed service for the five residential units, including the new utility pole, required easement, and service layout. Existing meter banks will remain, and only three net new services are being added. Gas service will not serve the building after completion of the project, further improving the safety profile of the residential use.

## **8. Drainage, Disturbance Area, and Environmental Review**

The project does not propose expansion of the existing building footprint, substantial grading, new pavement or impervious surface, parking lot reconstruction, or one acre or more of land disturbance. The site is already developed. Existing drainage patterns are expected to remain materially unchanged.

The only anticipated exterior disturbance is minor sign and fence post installation, totaling no more than approximately 100 square feet, far below the 43,560 square foot one-acre threshold. The plastic wheel stops will sit on top of the existing ground surface and be pinned in place without grading, excavation, paving, or parking lot reconstruction.

NYSDEC/EPA stormwater permitting is generally triggered by construction activity disturbing one acre or more, including earth-disturbing activities such as clearing, grading, and excavation. The applicant does not anticipate that a SWPPP is required because the project does not involve one acre or more of land disturbance, does not alter existing drainage patterns, and does not propose more than de minimis exterior ground disturbance. A Short Environmental Assessment Form is included with the submission for the Board's SEQRA review.

## **9. Planning Benefit and Request for Review**

This proposal represents a substantial improvement over the prior condition of the site. It converts an existing commercial building into a permitted residential use, improves life safety, organizes parking, removes regular vehicular access from Route 63, creates a dedicated fire lane, improves pedestrian safety, coordinates utility infrastructure, and provides substantial green space.

The project does not expand the building, does not increase building height, does not reduce setbacks, and does not create new site nonconformities. It is a rehabilitation and reuse project that improves the property while preserving the existing site layout.

Chauncey Homes LLC respectfully requests that the Planning Board accept the submission for Preliminary Site Plan Review and provide any comments necessary to finalize the site plan in coordination with the Town.

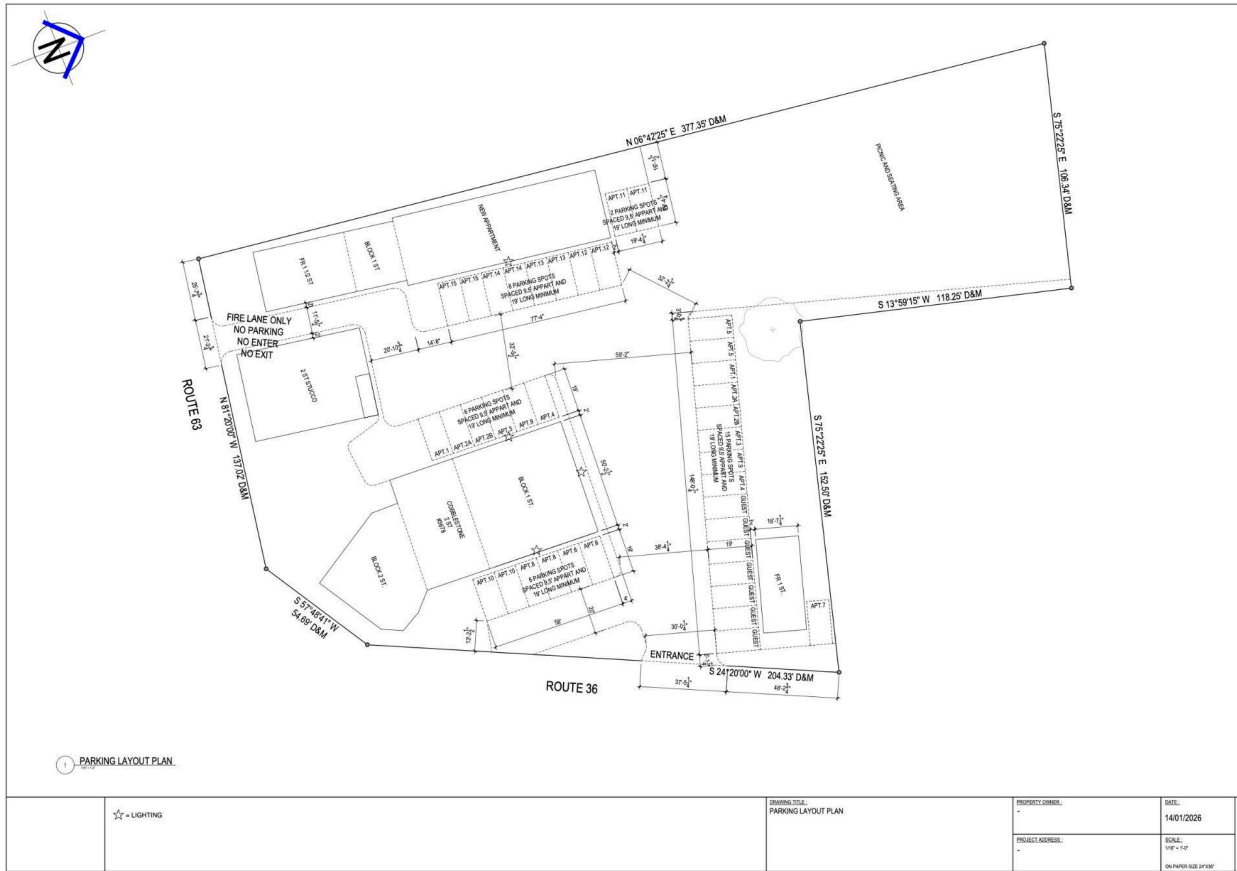
## Exhibit A: §1103 Site Plan Review Compliance Matrix

<u>Item</u>	<u>Requirement</u>	<u>Project Response / Location in Submission</u>
(1)	Title, applicant, preparer	Included on the stamped architectural/site drawings, site plan application, and cover letter.
(2)	North arrow, scale	Included on the stamped architectural/site drawings and site plan materials.
(3)	Property boundaries	Included on the stamped architectural/site drawings and site plan materials.
(4)	Existing features within 200 ft	Surrounding roads, structures, existing site conditions, and aerial site context are shown in the plans and supporting exhibits.
(5)	Grading & drainage	No building footprint expansion, substantial grading, new pavement, new impervious surface, parking lot reconstruction, or material drainage change is proposed. Existing drainage patterns will remain materially unchanged. To the extent detailed grading, contour, stormwater modeling, or drainage calculations would otherwise be required, the applicant requests waiver under §1102(A) because the project involves adaptive reuse of an existing developed site with only de minimis exterior disturbance.
(6)	Use, hours, building info	Proposed use is residential. The project converts an existing one story commercial building into five residential dwelling units within the existing building footprint. No commercial operation or building expansion is proposed.
(7)	Parking & loading design	Parking calculation is provided in the cover letter. The site requires 29 parking spaces and provides 38 total spaces, exceeding the requirement by 9 spaces. Spaces are numbered and organized for tenant and guest use, as outlined in the Exhibit. No loading area is required for the proposed residential use. Access and circulation shown on plan.
(8)	Pedestrian access	The Route 63 frontage is removed from regular vehicular access and maintained as a controlled emergency access and no-parking corridor. Pedestrian movement from parking areas to dwelling entrances is improved by separating regular vehicle circulation from the Route 63 frontage. Applicant also supports the Town's broader sidewalk/crosswalk efforts near Route 36 and Route 63, which are outside the scope of this application.
(9)	Solid waste facilities	Solid waste and recycling will be maintained in the designated on-site location shown on the site plan and screened to minimize visibility from residents, neighboring properties, and public roadways in accordance with §510.
(10)	Drive-in / queuing	Not applicable. The proposed use is residential and does not include drive-in service, drive-through activity, vehicle queuing, or customer service lanes. Applicant requests waiver of any further queuing analysis under §1102(A).

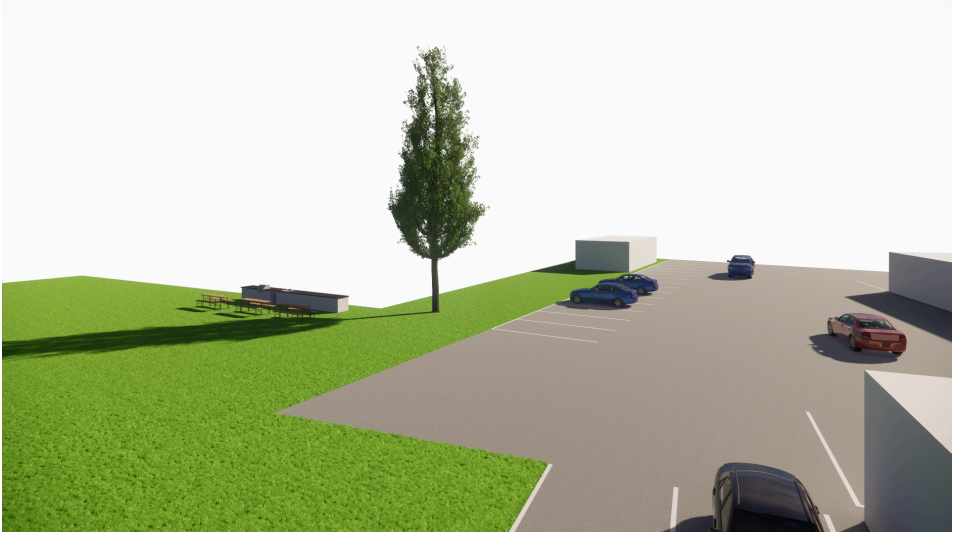
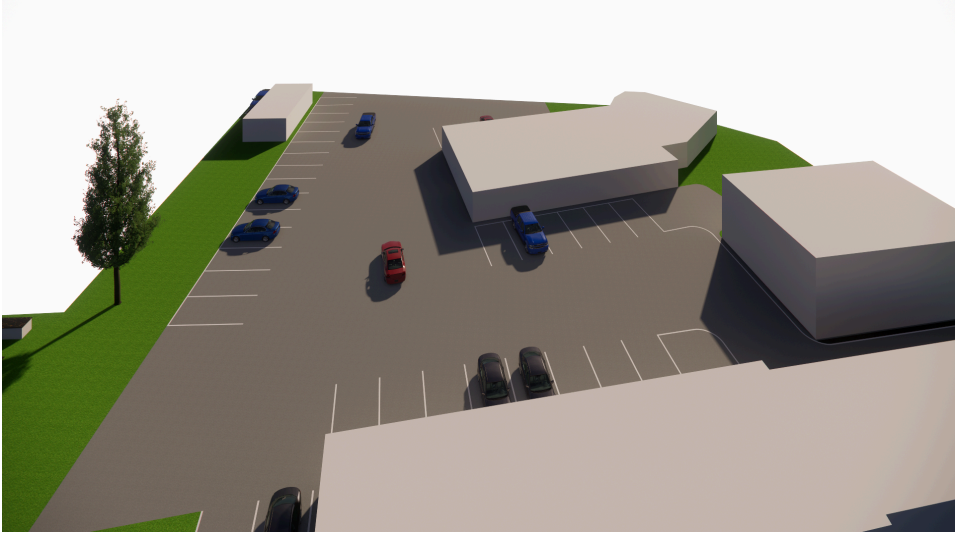
(11)	Building elevations & materials	Included in the stamped architectural drawing set. The project improves the exterior appearance and converts the prior commercial structure into a residential use.
(12)	Easements / utilities	National Grid survey and utility materials are attached as Exhibit D. National Grid has designed service for the five residential units, including the new utility pole, required easement, and service layout.
(13)	Outdoor storage	None proposed. No tenant storage, vehicle storage, dumpster storage, or snow storage will be permitted in the Route 63 emergency access corridor.
(14)	Site improvements	Proposed site improvements include organized and numbered parking, surface-mounted wheel stops, functional signage, controlled Route 63 emergency access/fire lane, low-profile lighting, pedestrian/site safety improvements, green space amenities, and snow storage.
(15)	Sewage disposal	The project will use existing sewer infrastructure already serving the property. The building is connected to an existing 4 inch sewer line. Based on New York State code fixture calculations, the proposed building is approximately 55 DFUs, compared to a minimum rated capacity of 160 DFUs for a 4 inch sewer line.
(16)	Water supply	The site is already connected to existing water infrastructure, and the proposed residential conversion will not create unusual or high-demand water use.
(17)	Fire & emergency access	Route 36 and internal circulation will serve as the primary fire and emergency access. Route 63 will be maintained as a supplemental emergency access and no-parking corridor, kept clear through signage, wheel stops, delineator posts where appropriate, tenant rules, lease enforcement, and towing where permitted. Two existing fire hydrants are located adjacent to the property and labeled on the site plan.
(18)	Energy / utilities	National Grid service plan is attached as Exhibit D. Existing meter banks will remain, five total services will be provided, and only three net new electric services are being added. Gas service will not serve the building after completion, improving the residential safety profile.
(19)	Signage	Functional signage only. Proposed signage includes numbered parking signs, No Parking, Fire Lane, Keep Clear, Emergency Access Only, No Entry/Exit, No Parking or Storage, and towing enforcement signage where permitted. No commercial advertising signage is proposed.
(20)	Buffer areas	Existing vegetation and green space will be retained where practical and used as natural buffering. Solid waste areas will be screened to reduce visibility.
(21)	Outdoor lighting	Four low-profile residential light fixtures are shown on the site plan near the parking and circulation areas. The cover letter includes an example fixture for reference, identifying the proposed type/style as comparable low-profile, motion-sensing dusk-to-dawn LED lighting. Fixtures will be mounted at a low

		residential height, generally approximately 10 to 15 feet, and directed or shielded to remain on site, minimize glare, reduce off-site light spill, and avoid direct illumination toward neighboring properties or public roadways, consistent with §518.
(22)	Recreation areas	The project provides approximately 19,889 square feet of green space for resident use, including open lawn area, seating, picnic tables, grills, and community-use outdoor space.
(23)	Open space/amenities	Same as above. The project preserves and improves existing open space and converts the site from a prior commercial condition into a more residential setting.
(24)	Summary table (site data)	Provided in the cover letter, parking calculation, plans, and supporting exhibits. Key site data includes approximately 1.4 acres, five proposed dwelling units, 38 parking spaces, 29 required parking spaces, 19,889 square feet of green space, 3,322 square feet of snow storage, no building footprint expansion, and no material impervious surface change.
(25)	Landscaping plan	Existing vegetation and green space will be retained where practical and used as natural buffering. Because no substantial grading, new parking lot construction, or major site disturbance is proposed, the applicant requests that the Board deem the existing green space and buffering plan sufficient.
(26)	Additional elements	Snow storage, winter operations, signage, fire lane controls, pedestrian safety, utility coordination, and parking controls are addressed in the cover letter and exhibits. The plan provides approximately 3,322 square feet of designated snow storage, equal to approximately 15.6% of the parking area.
(27)	SEQRA	Short Environmental Assessment Form is included. The application states the project is an adaptive reuse within the existing building footprint, with no additions, no expansion of footprint, no significant grading, and no material change to existing site conditions.
(28)	Agricultural data statement	Not applicable. The proposed activity is not located on property within an agricultural district containing a farm operation, and there are no farm operations within 500 feet of the proposed building. Therefore, an Agricultural Data Statement is not required for this application.
(29)	SWPPP	Not applicable. The project does not disturb more than one acre of land. The only anticipated exterior disturbance consists of minor sign and fence post installation totaling no more than approximately 100 square feet, far below the 43,560 square foot one-acre threshold. Surface-mounted wheel stops will be pinned in place without grading, excavation, paving, or parking lot reconstruction. Because the project does not meet the disturbance threshold identified in §1103(29), a SWPPP is not required.

# Exhibit B: Detailed Parking Plans

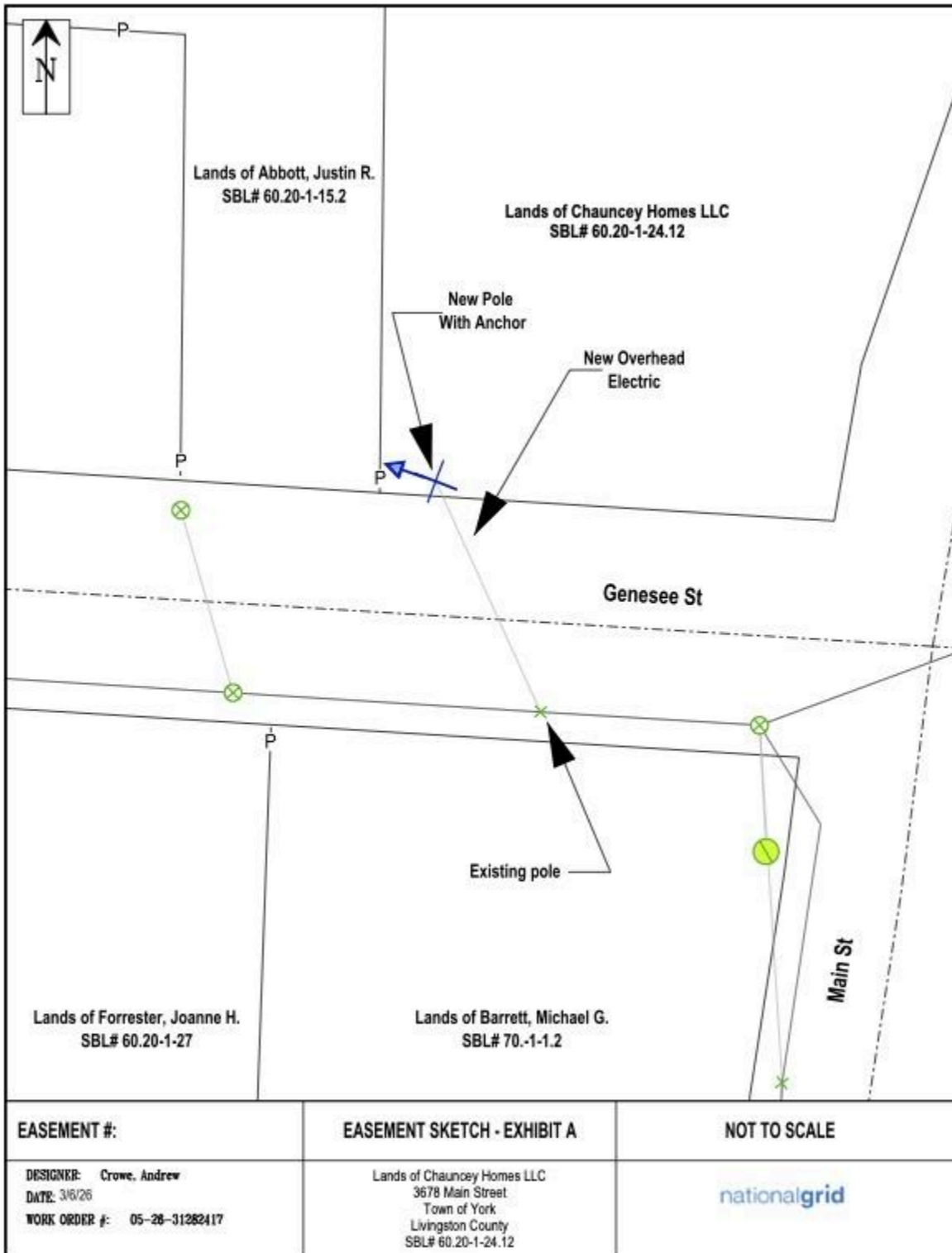


**Exhibit C: 3D Renderings of Parking Area and Greenspace**



*Parking will remain pre-existing gravel.*

**Exhibit D: National Grid Survey for Utility Pole**



**Exhibit E: Aerial Drone Photos of Site**





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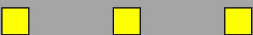


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Dean Architect is a  
Professional Limited Liability Company



April 27, 2026

**Town of York Building Department  
York Town Hall  
York, NY 14592**

**Attn: Code Enforcement Officer**

**Re: Scott Chauncey  
3678 Main Street  
Piffard, NY 14533**

**To Whom It May Concern,**

With regard to 3678 Main Street, we are providing the following information:

The building has been designed to be multiple two-family dwelling buildings, which we have achieved by using party walls, which would prompted the use of the 2025 Residential Building Code of New York State. Please find below code references that support the proposed approach.

According to the 2025 Building Code of New York State, Table 706.1.1 Party Walls states that any wall between adjacent buildings shall be constructed as a fire wall according to Section 706. Party walls shall be constructed without openings and shall create separate buildings.

As stated in the 2025 Building Code of New York State, Table 706.4 Fire Wall Fire-Resistance Ratings, residential group R-2, in Type V construction, is permitted to have a 2-hour fire-resistance rating.

As per the 2025 Residential Building Code of New York State, R309.2 an automatic sprinkler system shall be installed in one and two-family dwellings where such dwellings have a height of three stories above grade plane. Since the building is only a one-story building, a sprinkler system is not required.

As per Table R302.1(1) Exterior Walls, minimum fire separation distance between separate dwelling units located on the same lot is 5 feet and does not need to be fire-resistance rated.

If you have any questions or concerns, please contact my office at your earliest convenience.

**Sincerely,  
Dean Architects,**

**Mark A. Dean,**  
Principal + RA, NCARB, AIA  
LEED Green Associate



May 14<sup>th</sup>, 2026

**Town of York Building Department  
York Town Hall  
York, NY 14592**

**Attn: Code Enforcement Officer**

**Re: Scott Chauncey  
3678 Main Street  
Piffard, NY 14533**

**To Whom It May Concern,**

With regard to 3678 Main Street, we are providing the following information:

We have reviewed the Multiple Residence Law and according to Article 9, Section 329.2 it states that upon the adoption by any municipality of any state building construction code, provisions of article four, five, six and seven of this [MRE] chapter shall become inoperative with the respect to the construction of such dwellings in any such municipality so long as the state building construction code is applicable and operative.

According to the Town of York Zoning Ordinance Section 612, Multi-Family Dwelling, all structures shall comply with the NYS Uniform Code.

The existing building has been designed and fire rated according to the 2025 Building Code of New York State and 2025 Residential Building Code of New York State.

If you have any questions or concerns, please contact my office at your earliest convenience.

**Sincerely,  
Dean Architects,**

**Mark A. Dean,**  
Principal + RA, NCARB, AIA  
LEED Green Associate



**D·E·A·N**  
ARCHITECTS



8353 Main Street  
Clarence, NY 14221

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## *Short Environmental Assessment Form*

### *Part 1 - Project Information*

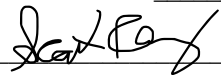
**Instructions for Completing**

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

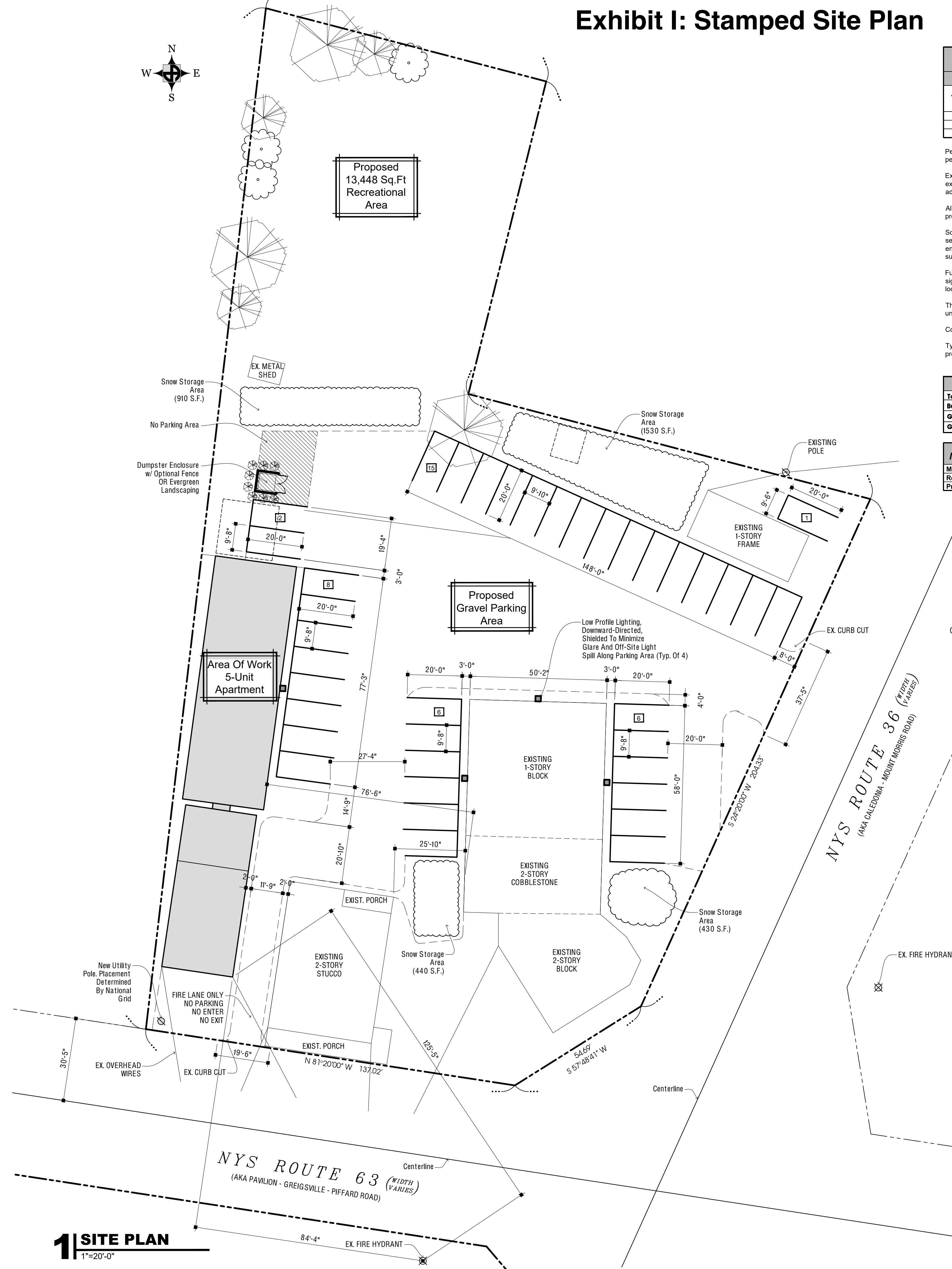
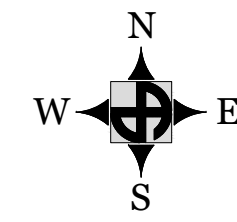
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project: Conversion of existing commercial building to five apartments at 2517 Genesee Street				
Project Location (describe, and attach a location map): 2517 Genessee St, Piffard NY (Tax map address is 3678 Main St, Piffard NY)				
Brief Description of Proposed Action: Adaptive reuse of the existing one story commercial building at 2517 Genesee Street, Town of York, into five code compliant residential apartments located entirely within the existing building footprint. The project consists primarily of interior renovations to the existing structure, with no building additions, expansion of the footprint, or disturbance to the existing site conditions. Site improvements are limited and primarily involve existing conditions and previously improved areas. No new asphalt, significant grading, land disturbance, or material change to the site is proposed. The proposed residential use is expected to generate less traffic and overall intensity than the prior commercial use, with no substantial change to drainage or stormwater conditions.				
Name of Applicant or Sponsor: Chauncey Homes LLC		Telephone: 585 969 1141 E-Mail: scott@chaunceyproperties.com		
Address: 300 Air Park Suite 80				
City/PO: Rochester		State: NY	Zip Code: 14624	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Planning Board Site Plan Approval; Livingston County Planning Board referral (if required under GML 239) and Building Permit			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 1.4 acres b. Total acreage to be physically disturbed? _____ 0 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: Meets RESCheck Compliance _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Scott Chauncey</u> Date: <u>May 13, 2026</u> Signature: <u></u> Title: <u>President</u>		

# Exhibit I: Stamped Site Plan



Current Zoning - Hamlet Commercial District	
Minimum Yard Requirements	
Yard	Structure
Front	Determined Through Site Plan Review
Side	Determined Through Site Plan Review
Rear	Determined Through Site Plan Review

Snow Removal Area	
Min. Req. = 10% of Gravel Area	
Total Parking Area	21,305 SF
Total Snow Removal Area	3,322 SF
% of Snow Removal	15.6%

Pedestrian walks have been provided from parking areas to the building to ensure pedestrian safety.

Existing vegetation will be retained to the greatest extent practicable; the site's expanded green space will function as both recreational area and natural buffering; additional landscaping can be incorporated if requested.

All site lighting fixtures are provided with cut-off shields to eliminate light spread off property and is dark sky compliant.

Solid waste will be stored in designated container locations (dumpster) on-site and serviced through standard residential pickup. Placement will be coordinated to ensure accessibility while minimizing visibility and impact to residents and surrounding properties.

Functional signage only: "No Parking," "No Entry/Exit," fire lane identification; all signage will be limited to functional safety and directional signage in compliance with local regulations.

The project will connect to existing sewer infrastructure serving the property; no unusual demand beyond residential use.

Connection to existing 4 in. building drain.

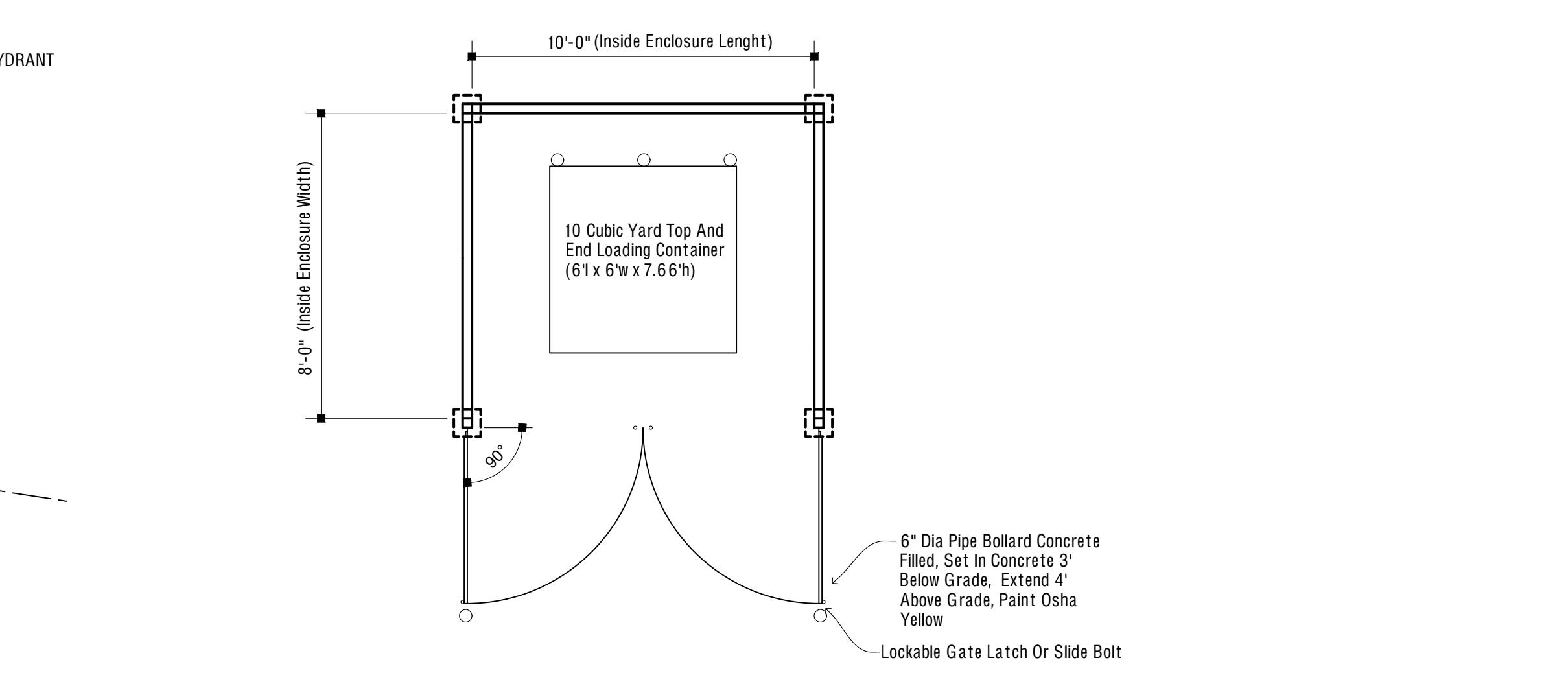
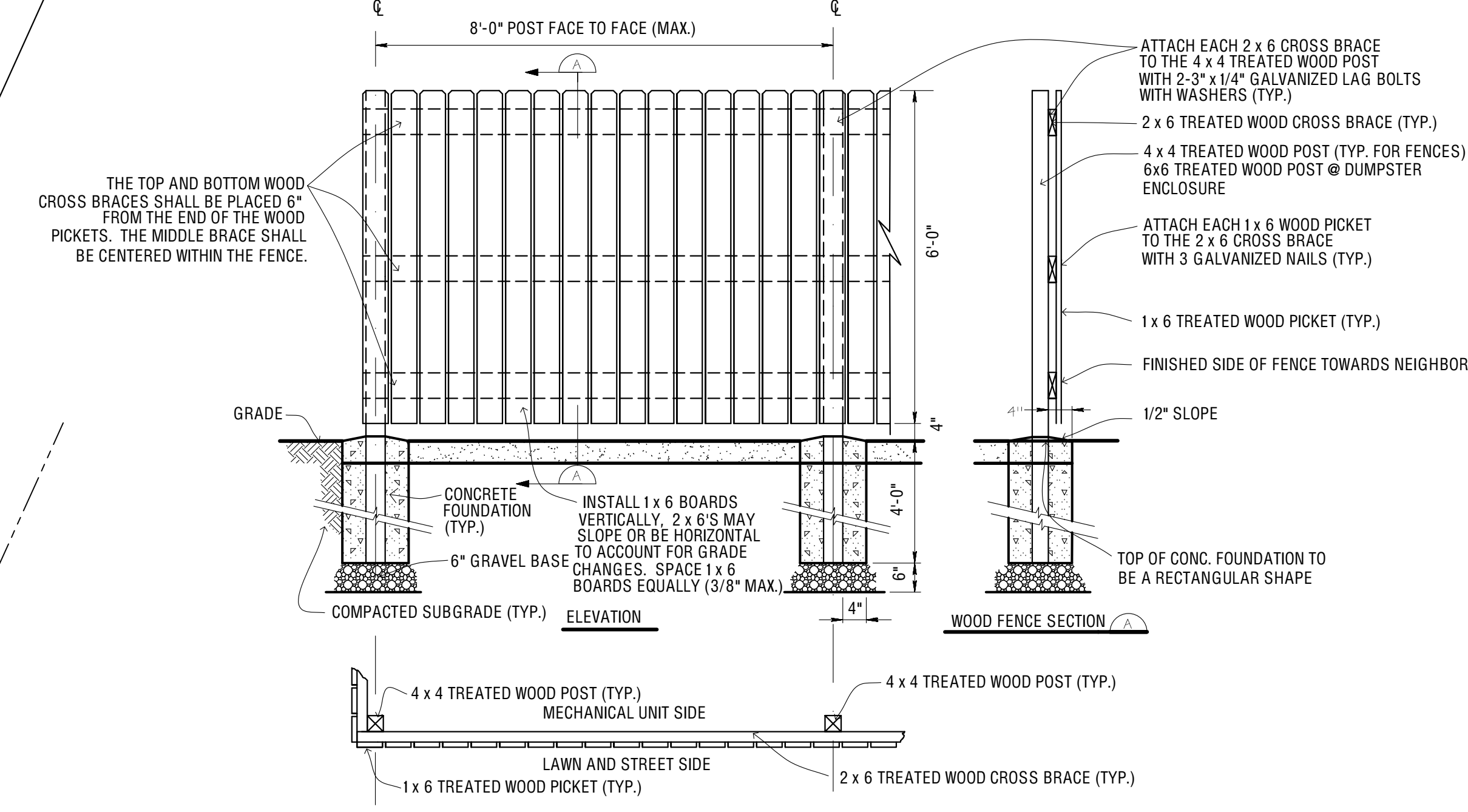
Typical utility demand consistent with comparable small multi-family residential project.

Land Use		
Total Area	61,811 s.f.	100.0%
Buildings	12,433 s.f.	20.11%
Gravel Areas	21,305 s.f.	34.47%
Green Space	19,889 s.f.	32.18%

Minimum Parking Requirement	
Multi-Family 2-3 Bedroom	2 Per Dwelling Unit
Required Parking Spaces	29 Spaces
Proposed Parking Spaces	38 Spaces

## SITE NOTES

- In areas where the contractor is excavating near any utility poles and traffic signal poles, the contractor shall brace and/or hold the pole in place until excavated area is backfilled and compacted. This work is to be performed as approved by the appropriate utility company.
- The contractor is responsible for the removal and disposal of any material generated during demolition or construction. The owner reserves, is so desired, the salvage rights to all removed material and equipment.
- All unsuitable material encountered during excavation shall be removed to a depth and extent established by the resident engineer. Backfill for the excavation shall be with appropriate material and compaction measures.
- All disturbed lawn areas shall be restored equal or better than existing condition. All restoration within the State ROW shall be per the 610 Items provided, not just at the sidewalk connection.
- After completion of utility work the contractor's surveyor shall check all horizontal and vertical control points prior to construction. Any discrepancies shall be brought to the attention of the engineer.
- The contractor shall keep his operations within the designated easements or R.O.W. limits.
- Conditions of construction along state, county, and city highways shall conform to the specifications listed and permits issued by the appropriate agencies. The contractor is responsible for obtaining the necessary permits.
- The contractor shall take all necessary precautions not to disturb and/or damage property corners (iron pins, hubs, etc.) Any disturbed or damaged property corners shall be replaced by the contractor's licensed land surveyor at the contractor's expense.
- All existing underground utilities such as electrical, gas mains, and telephone lines shall be staked out by the respective utility company prior to construction. The contractor shall notify all necessary utility companies for stakeout. Existing utility locations shown on the plans shall be considered approximate and shall be confirmed by the contractor. The contractor is required to contact "Dig Safely New York" (1-800-962-7962) a minimum of 72 hours prior to commencing work.
- Locations of overhead utility line shown on drawings were obtained from aerial survey and should be considered approximate. All storm crossings are not shown on contract drawings.
- Locations of existing storm shown on drawings are approximate. All damage to storm sewer utilities shall be reported to the resident engineer at once. The contractor shall protect existing sewers. If existing sewers are damaged during construction, the contractor shall repair these at no expense to the owner.
- Safe and continuous through traffic, ingress and egress for adjacent owner driveways, service roads, public streets, and sidewalks shall be maintained throughout the period of construction.
- The contractor is responsible for the proper disposal of all removed catch basins, manholes, pavement, soil, curbing, sidewalks, sewers, and other disturbed debris.
- Mailboxes, guardrails, driveway culverts, fences, etc that interfere with construction shall be removed, reset, and/or replaced in-kind to the satisfaction of the engineer at no additional cost.



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**25-306**

Project For:  
**Scott Chauncey**  
3675 Main St.  
Piffard, NY 14533

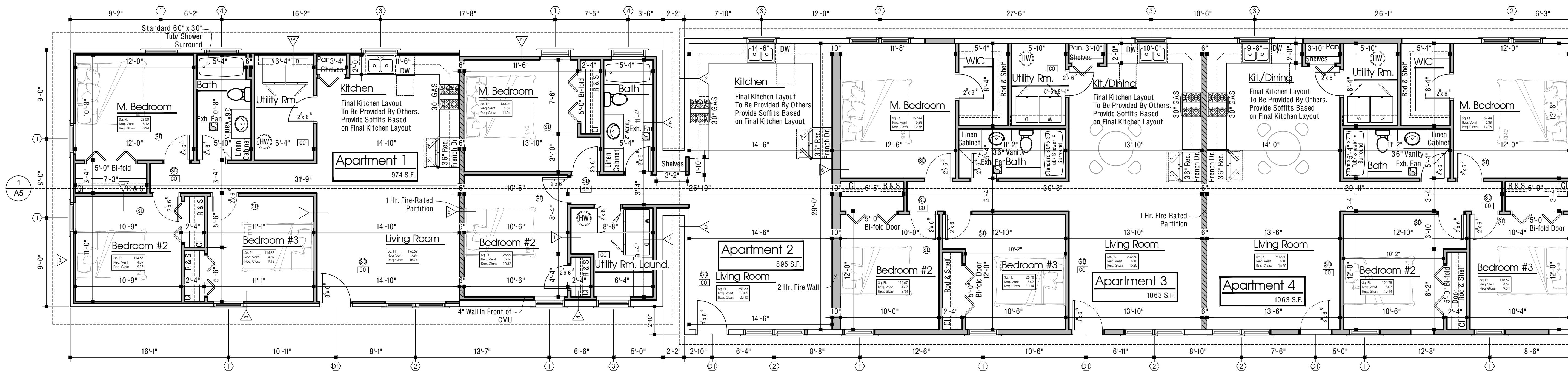
No.	Description	Date	By

DATE: 05-14-2026  
DRAWN BY: Y. Hiciano  
CHECKED BY: M. Dean  
SCALE: As Noted

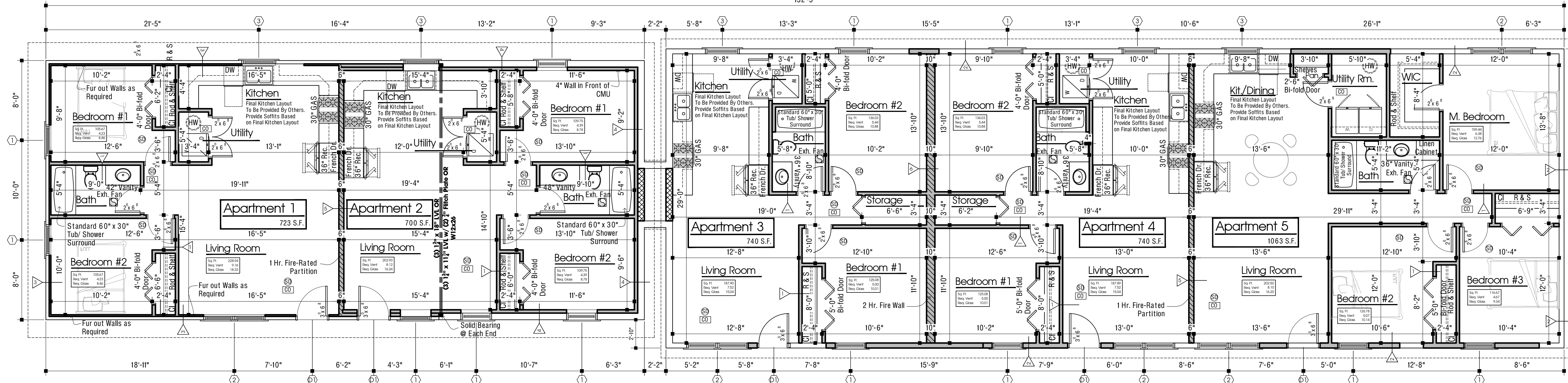
**SITE PLAN**

**C1**





**1 FLOOR PLAN**  
3/16"=1'-0"



**2 FLOOR PLAN**  
3/16"=1'-0"

**ALTERNATE**

Existing Building Total Square Footage 4281 S.F.

**Window Schedule**

Windows chosen to be Pella Lifestyle Series Or Equal UNO

Mark	Quant	Unit Description	Rough Opening	S.F. Vent	S.F. Glass	Clear Opng.	Oper.	Finish	Remarks
1	10	3757	3'-1 3/4" x 4'-9 3/4"	5.90	11.30	33-13/16" x 25-1/4"	DH.	Clad	Egress.
2	6	3757-2	6'-2 3/4" x 4'-9 3/4"	11.80	22.60	(2) 33-13/16" x 25-1/4"	DH.	Clad	Egress, Mull Units Together, Verify R.O. w/ Window Manuf.
3	5	4141	3'-5 3/4" x 3'-5 3/4"	4.50	7.90	37-13/16" x 17-1/4"	DH.	Clad	-----
4	2	4125	3'-5 3/4" x 2'-1 3/4"	1.90	2.50	-----	AWN.	Clad	-----

**Door Schedule**

Mark	Quant	Unit Description	Rough Opening	Finish	Remarks
D1	4	36" Entry Door	3'-2 1/4" x 6'-10 1/4"	-----	35" x 79"   Swing   Paint   Primed Interior, Door To Be Selected By Owner

Note: Windows Indicated Are Pella Proline Series. All Rough Openings, Light & Vent Egress Requirements Shall Be Verified By Window Supplier Should Substitute Windows Be Selected

**Window Schedule**

Windows chosen to be Pella Lifestyle Series Or Equal UNO

Mark	Quant	Unit Description	Rough Opening	S.F. Vent	S.F. Glass	Clear Opng.	Oper.	Finish	Remarks
1	12	3757	3'-1 3/4" x 4'-9 3/4"	5.90	11.30	33-13/16" x 25-1/4"	DH.	Clad	Egress.
2	5	3757-2	6'-2 3/4" x 4'-9 3/4"	11.80	22.60	(2) 33-13/16" x 25-1/4"	DH.	Clad	Egress, Mull Units Together, Verify R.O. w/ Window Manuf.
3	4	4141	3'-5 3/4" x 3'-5 3/4"	4.50	7.90	37-13/16" x 17-1/4"	DH.	Clad	-----

**Door Schedule**

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Note: Windows Indicated Are Pella Proline Series. All Rough Openings, Light & Vent Egress Requirements Shall Be Verified By Window Supplier Should Substitute Windows Be Selected

**ALTERNATE**

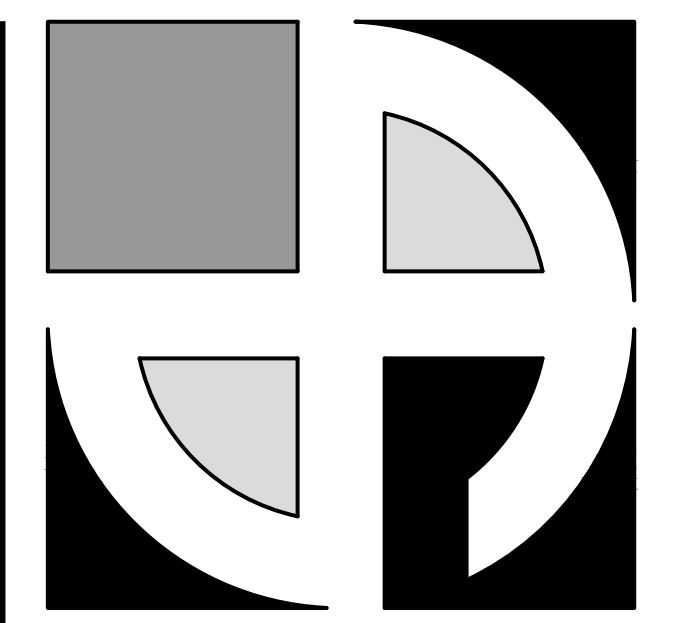
**FLOOR PLAN LEGEND**

- Existing Wall to be Demolished
- Existing Wall to Remain
- New Wall
- Smoke Detector
- Heat Detector
- Demolished Door
- Existing Door to Remain
- New Door

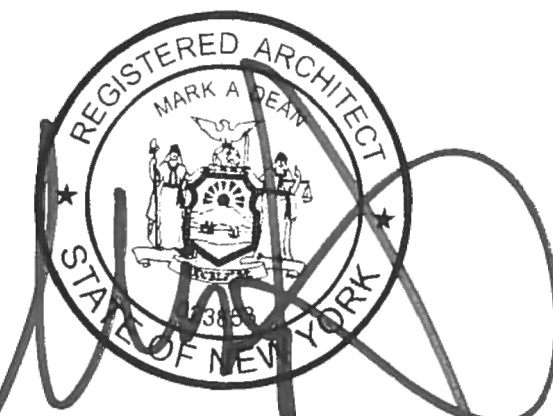
**NOTE:**  
Additional Hardwired Smoke Detectors and Carbon Monoxide Detectors Shall Be Installed In Existing Dwelling As Req'd by Section R314 Of The 2020 NYS Residential Building Code. All Detectors Must Be On Each Floor, Including The Basement and Shall Be Interconnected.

**NOTE:**  
Contractor Shall Confirm Location Of Any Bearing Walls Prior To Demolition & Notify Architect Of Any Bearing Walls Not Indicated On The Demolition Plan. All Bearing Locations Shall Be Temporarily Supported During Demolition & Construction Until Permanent Structure Is In Place

**NOTE:**  
Adjust Top Of Wall Elevation To Align New Finish Floor With Existing Elevation



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**25-306**

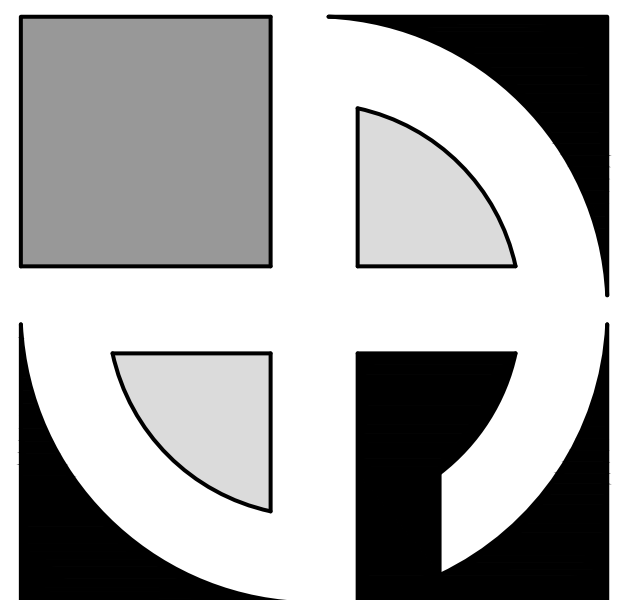
Project For:  
**Scott Chauncey**  
3675 Main St.  
Piffard, NY 14533

No.	Description	Date	By

DATE: 10-29-2025  
DRAWN BY: E. Lenney  
CHECKED BY: M. Dean  
SCALE: As Noted

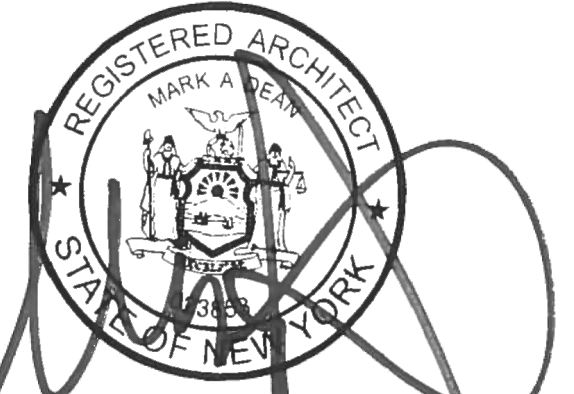
FLOOR PLANS

**A2**



**D-E-A-N**  
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**25-306**

Project For:

**Scott Chauncey**

3675 Main St.  
Piffard, NY 14533

No.	Description	Date	By

DATE:  
10-29-2025

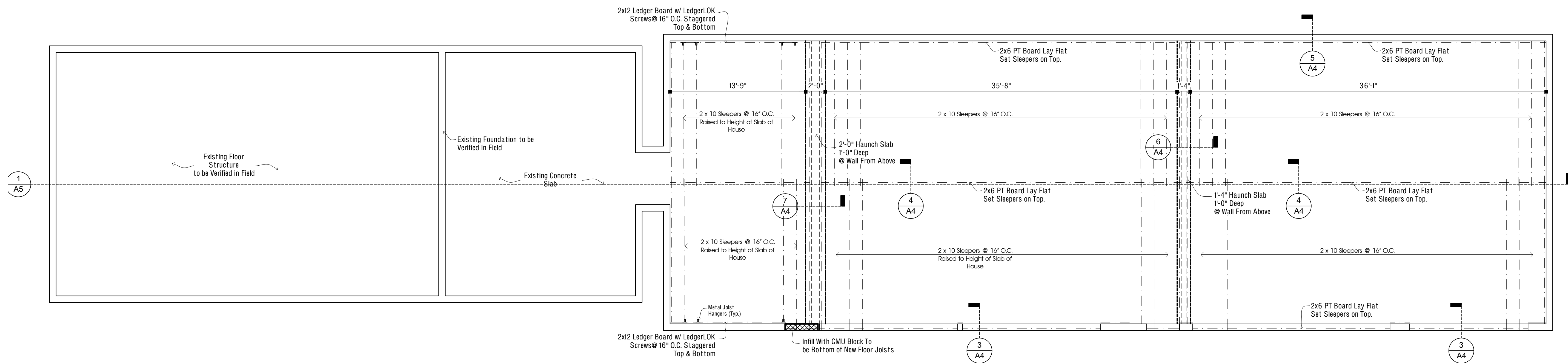
DRAWN BY:  
E. Lenney

CHECKED BY:  
M. Dean

SCALE:  
As Noted

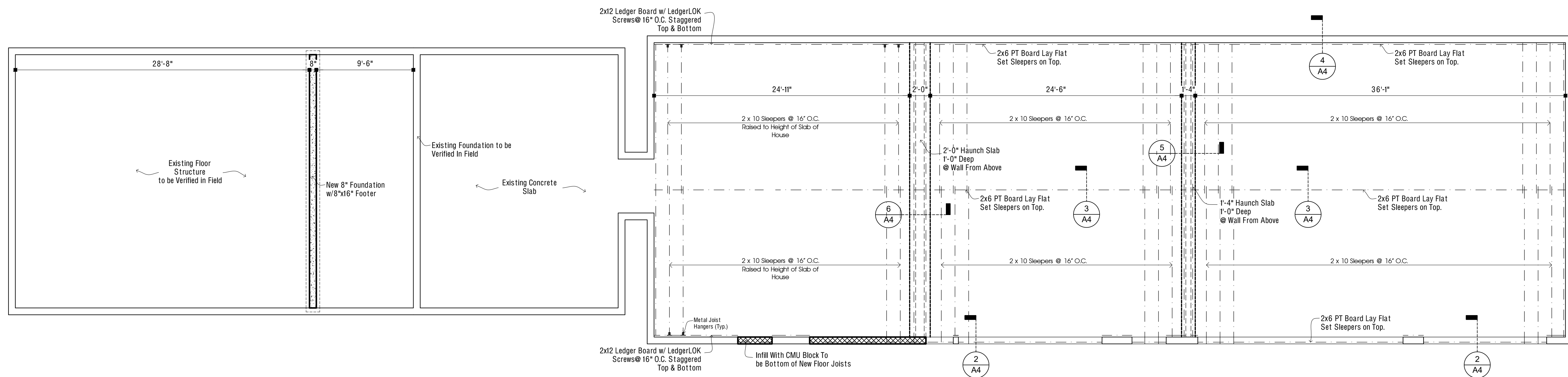
FOUNDATION  
PLANS

**A3**



**1 FOUNDATION PLAN**

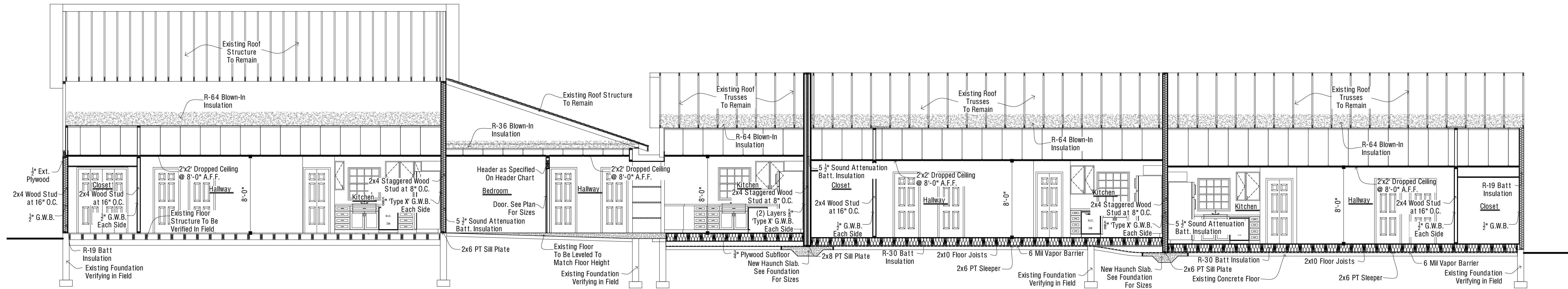
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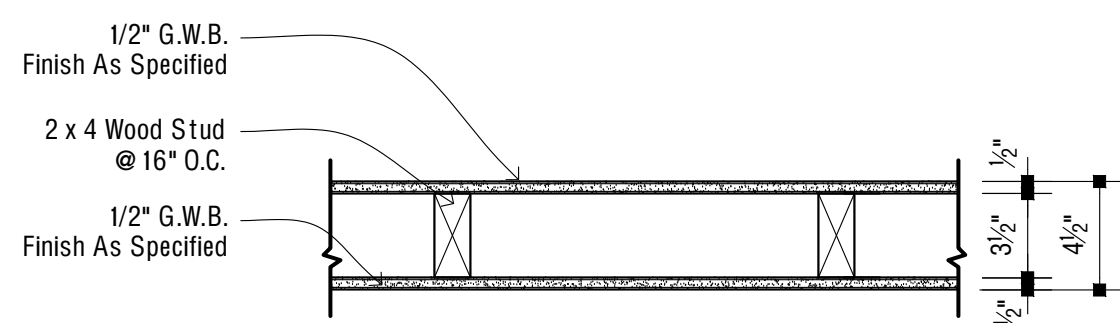
**1 FOUNDATION PLAN**

3/16"=1'-0"

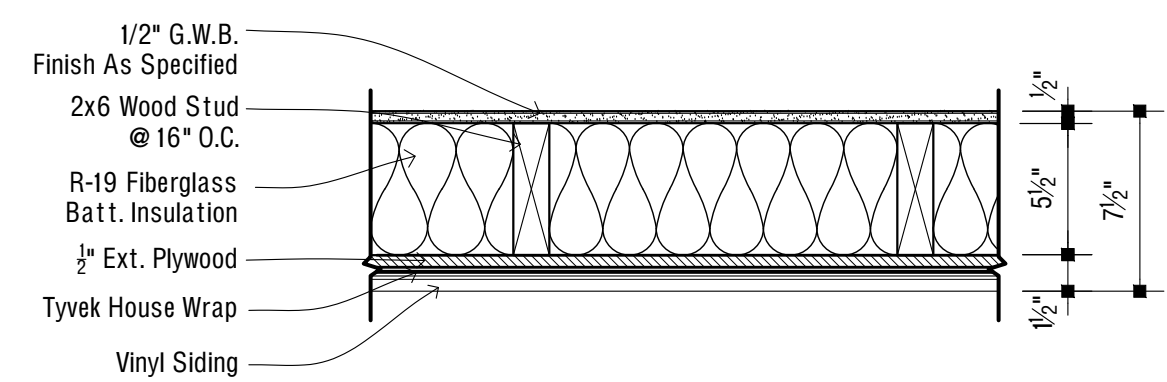
**ALTERNATE**



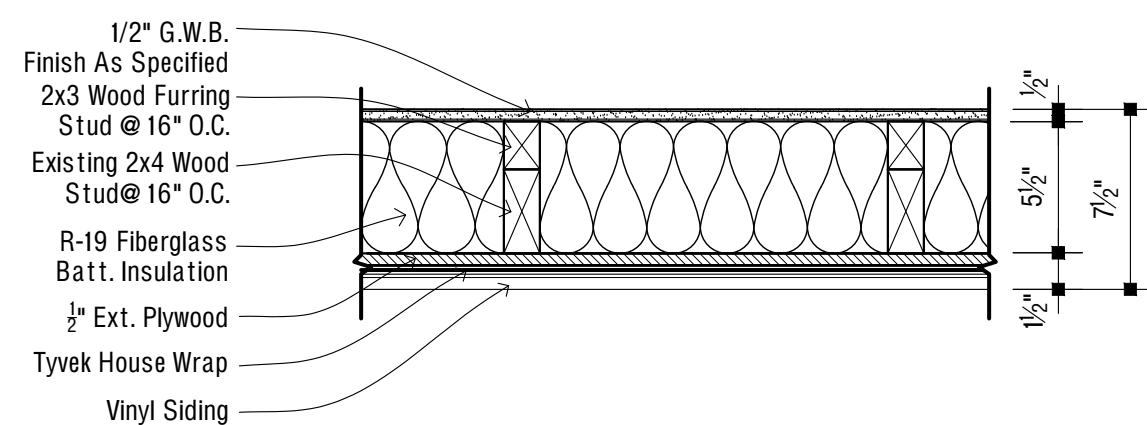
**1 BUILDING SECTION**  
3/16"=1'-0"



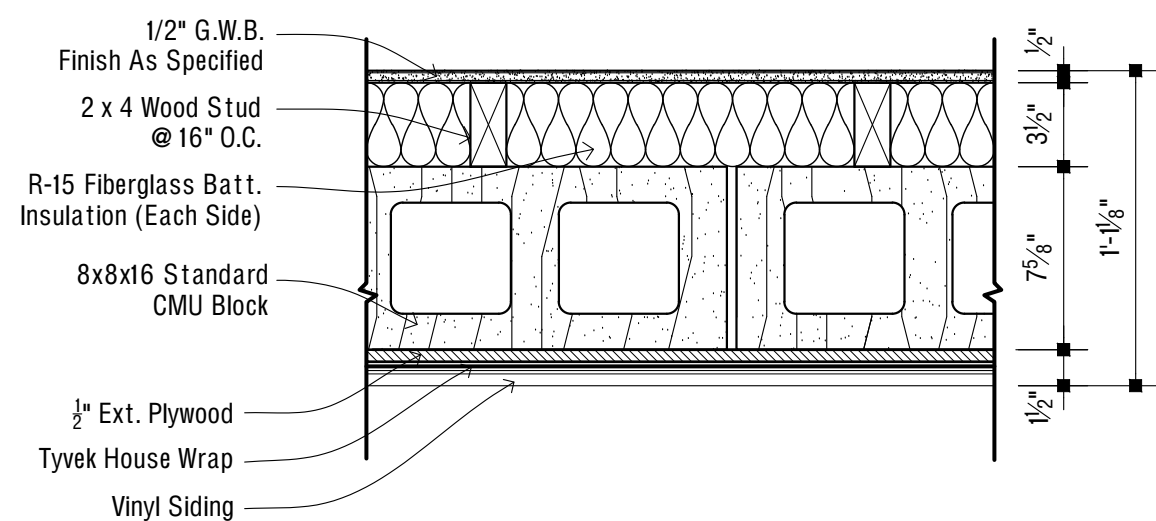
**1 INTERIOR WALL**



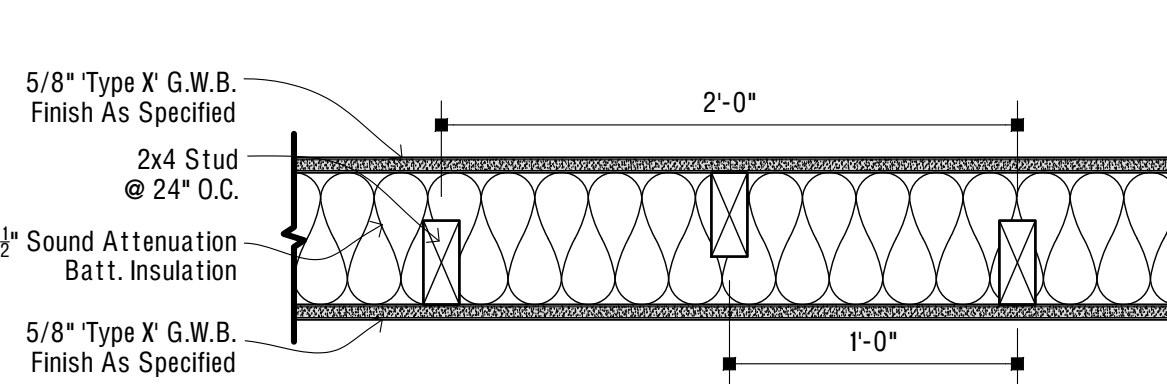
**2 EXTERIOR WALL DETAIL @ GARAGE**



**3 EXTERIOR WALL @ HOUSE**

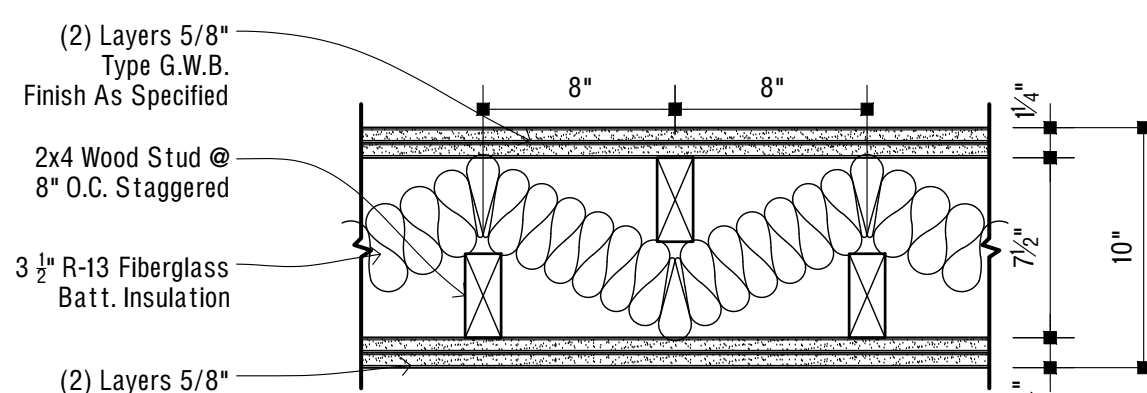


**4 EXTERIOR WALL @ CMU WALL**



**5 1 HR. RATED WALL**

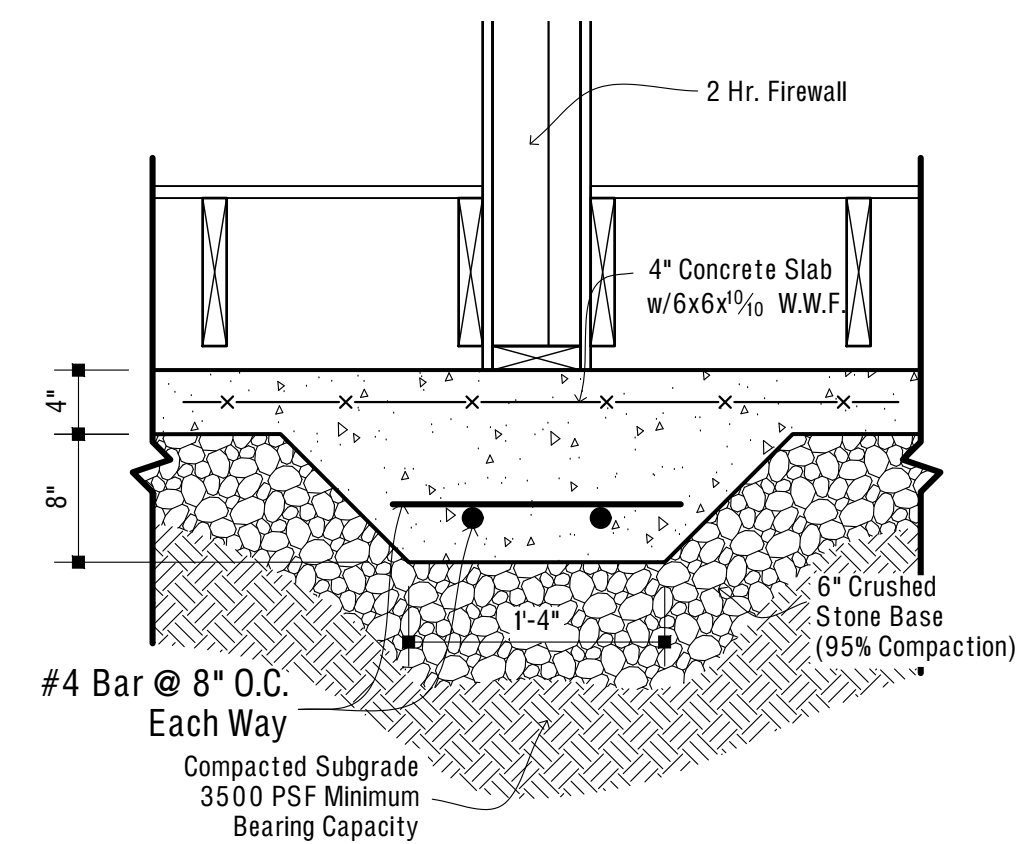
UL DES# U-905  
Extend Wall Full Height to Underside of Roof Deck and Seal Smoke Tight



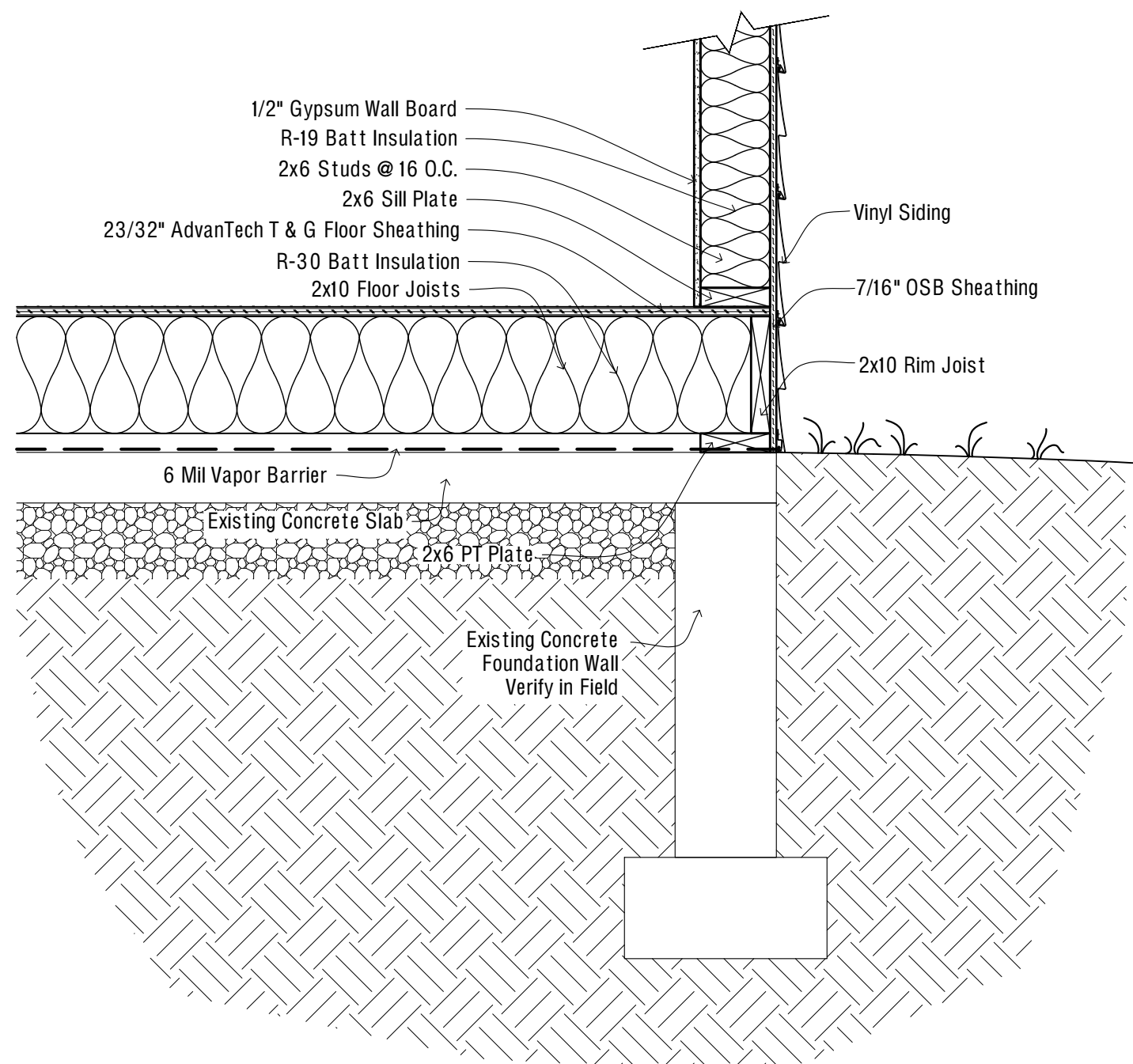
**6 2 HR. RATED WALL**

UL DES# U-465  
Extend Wall Full Height to Underside of Deck and Seal Smoke Tight

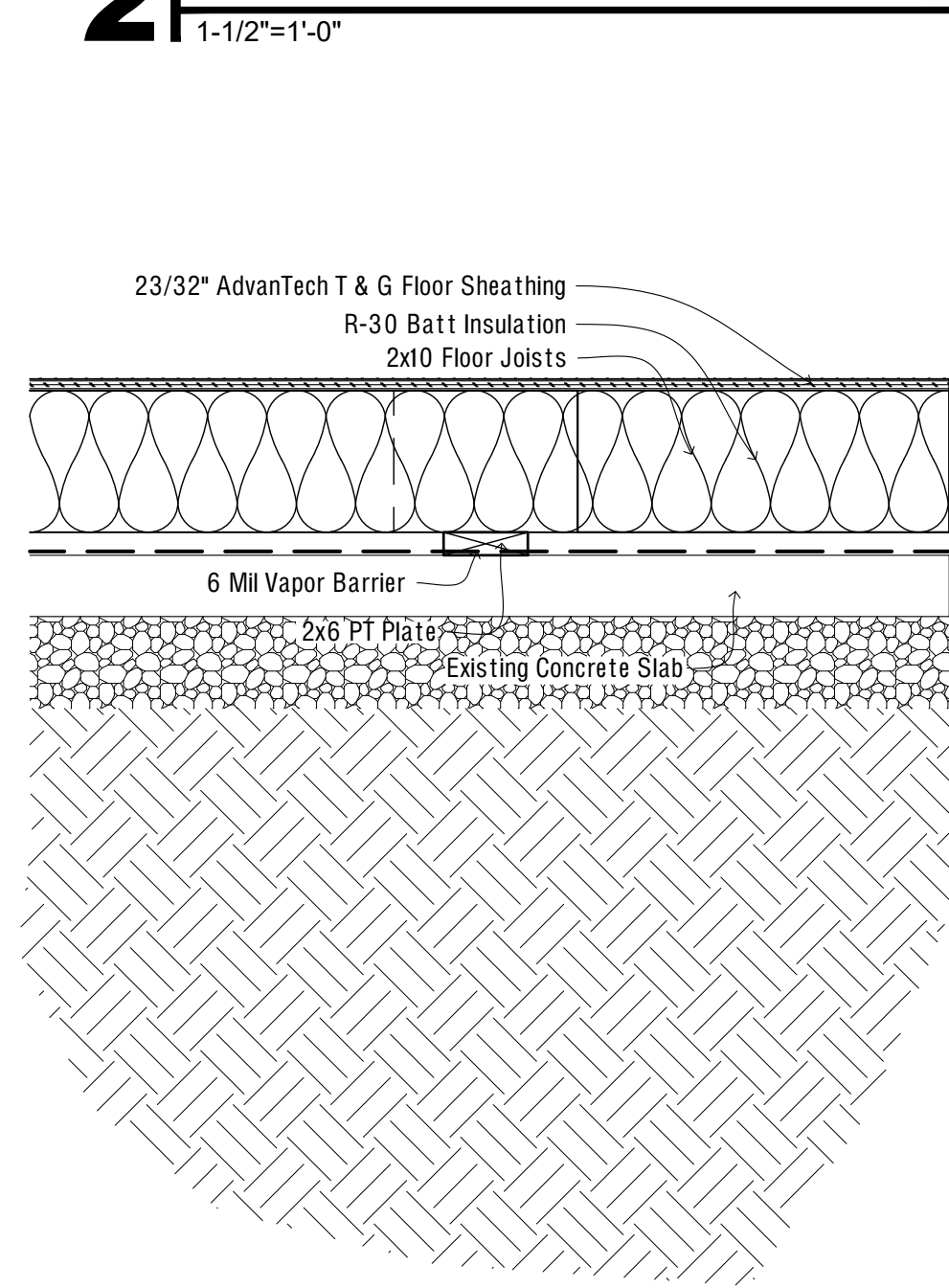
**2 WALL TYPES**  
1-1/2"=1'-0"



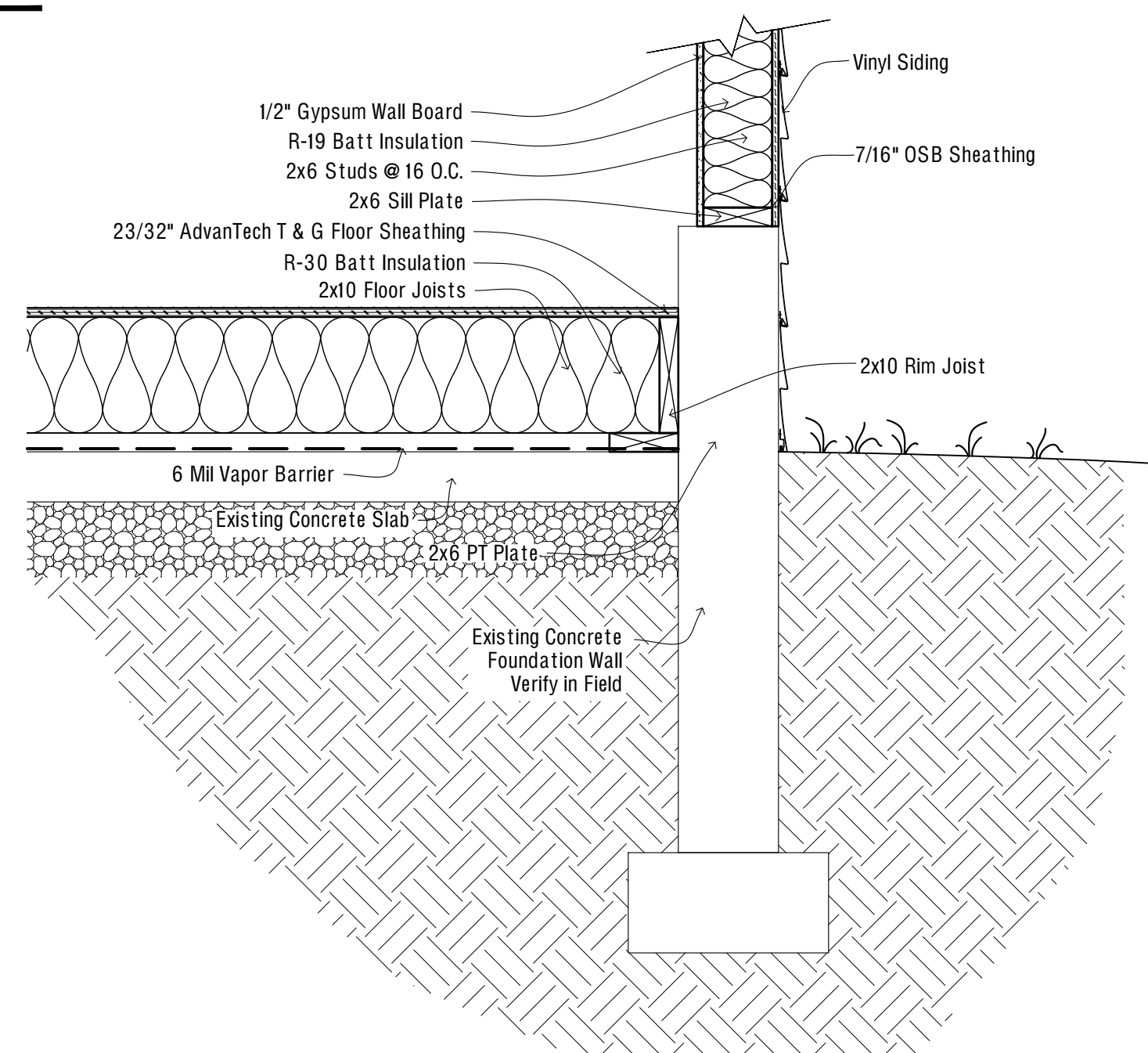
**6 1'-4" HAUNCH SLAB**  
1"=1'-0"



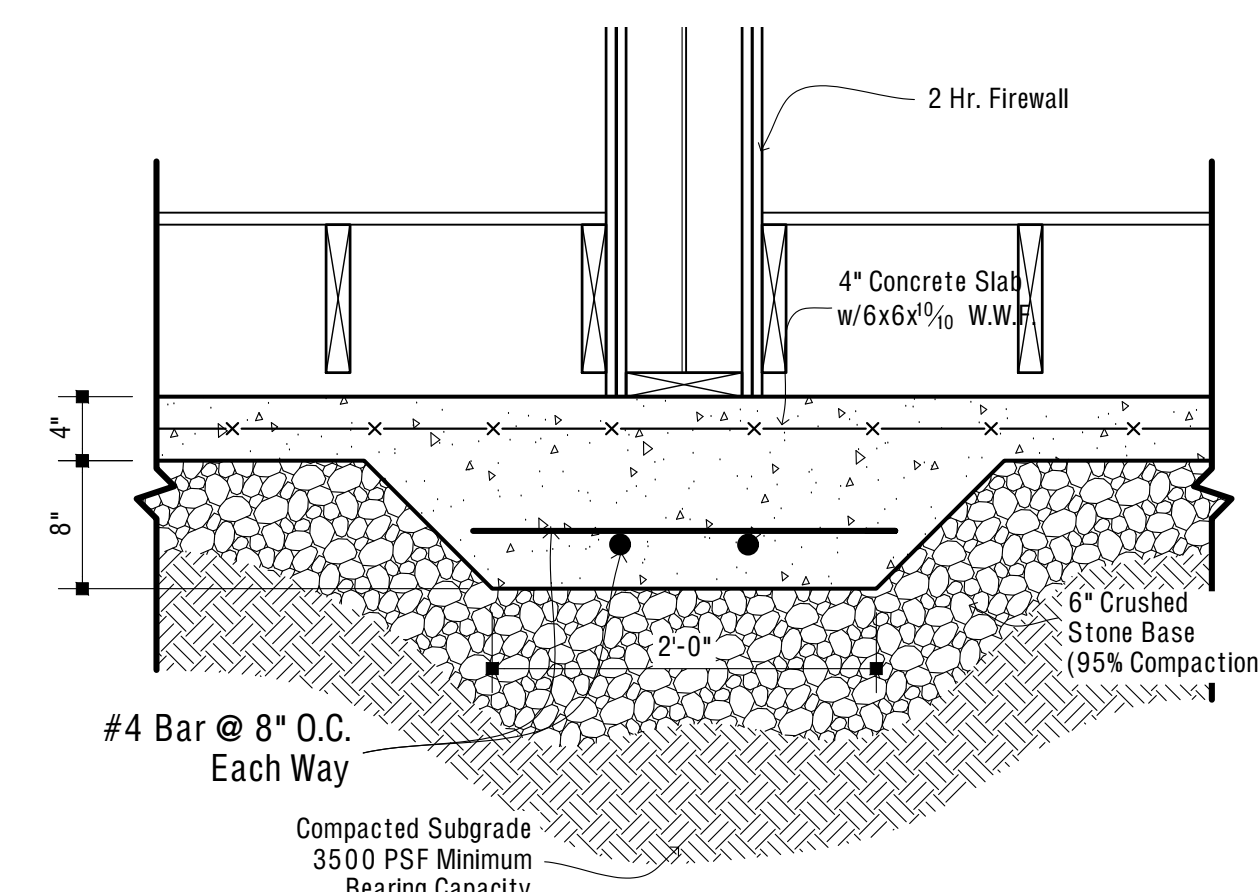
**3 GARAGE OPENING SECTION**  
1"=1'-0"



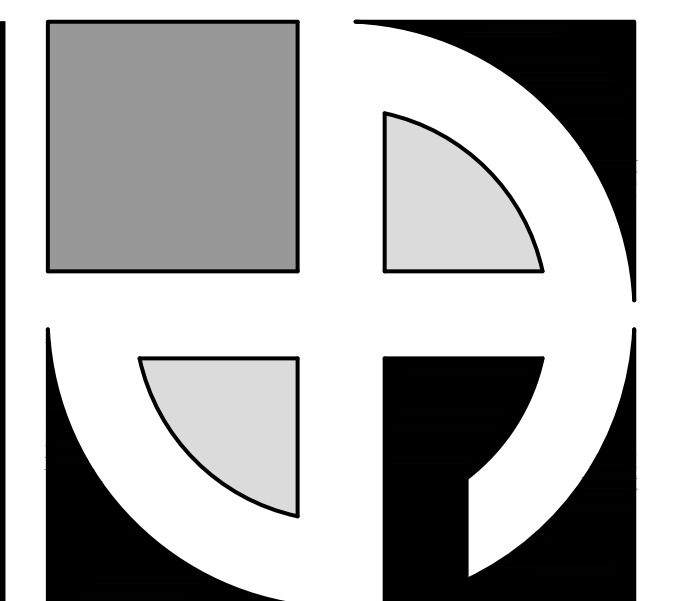
**4 GARAGE CENTER SECTION**  
1"=1'-0"



**5 GARAGE FOUNDATION SECTION**  
1"=1'-0"

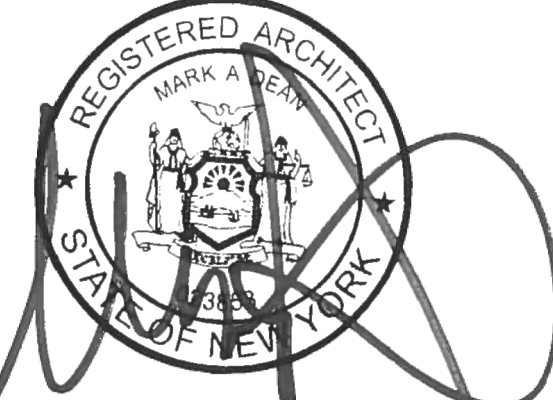


**7 2'-0" HAUNCH SLAB**  
1"=1'-0"



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**25-306**

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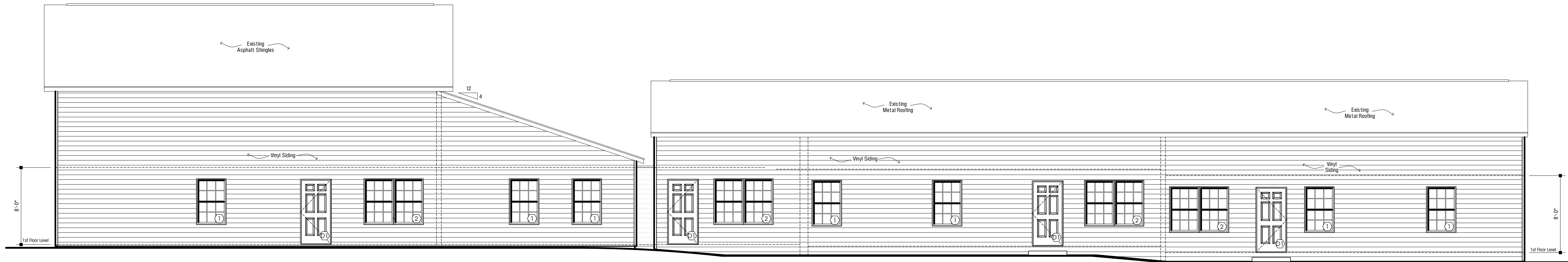
3675 Main St.  
Piffard, NY 14533

No.	Description	Date	By

DATE: 10-29-2025  
DRAWN BY: E. Lenney  
CHECKED BY: M. Dean  
SCALE: 3/16"= 1'-0"

DETAILS

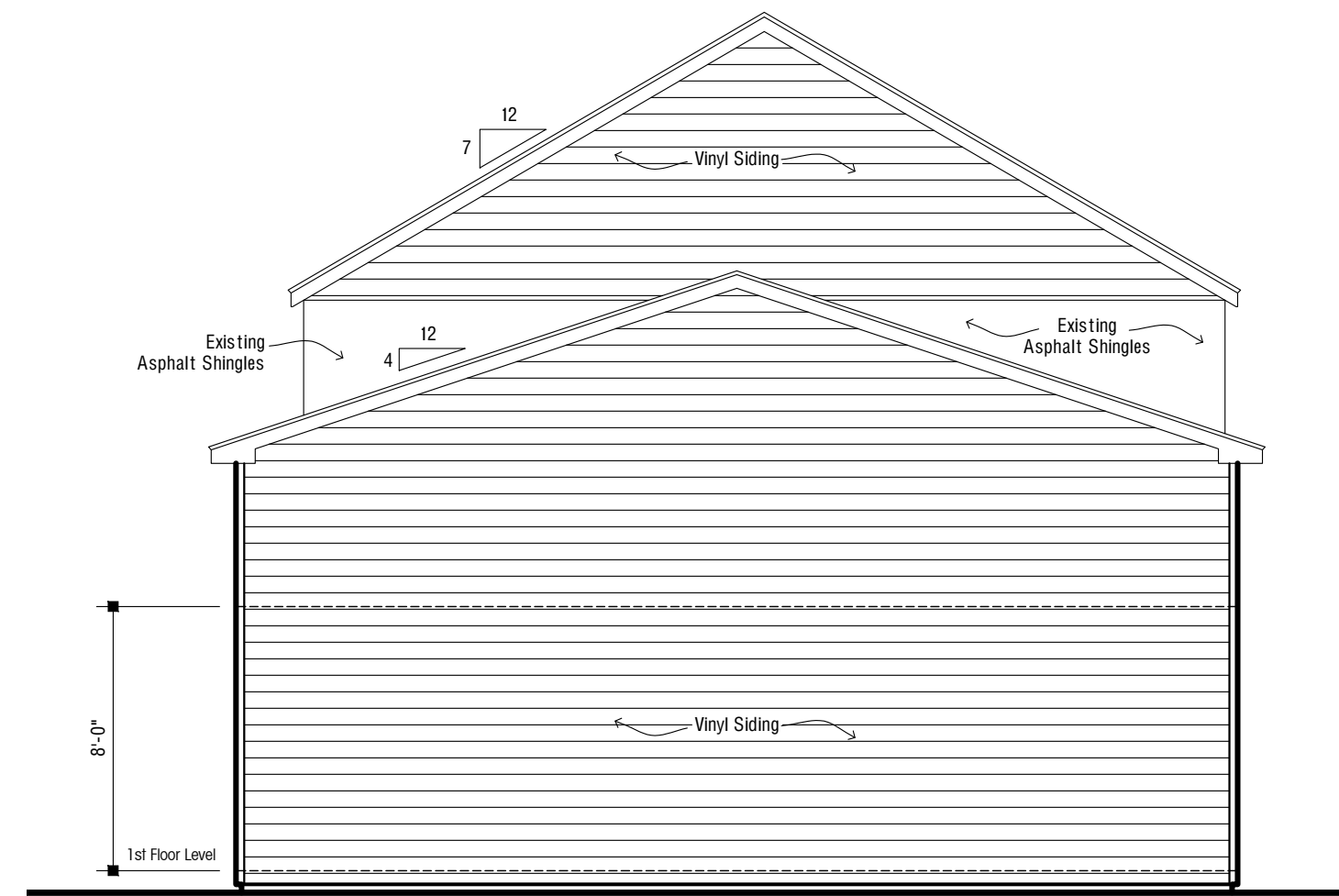
**A4**



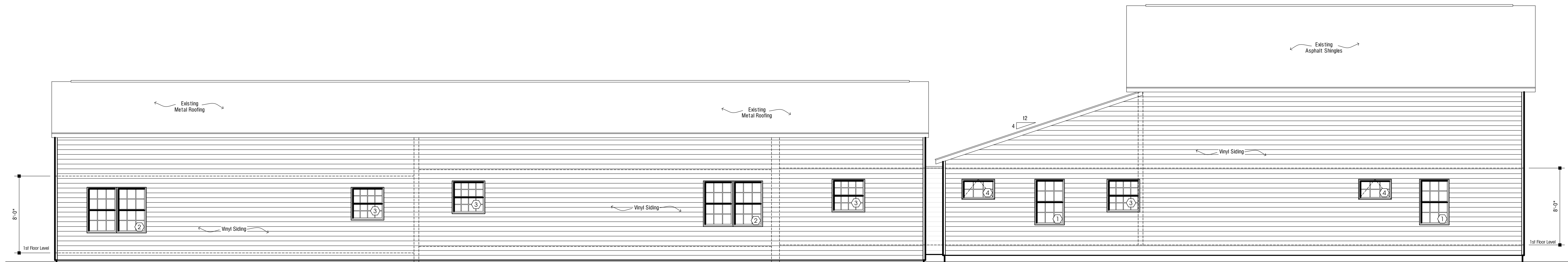
**1 FRONT ELEVATION**  
3/16"=1'-0"



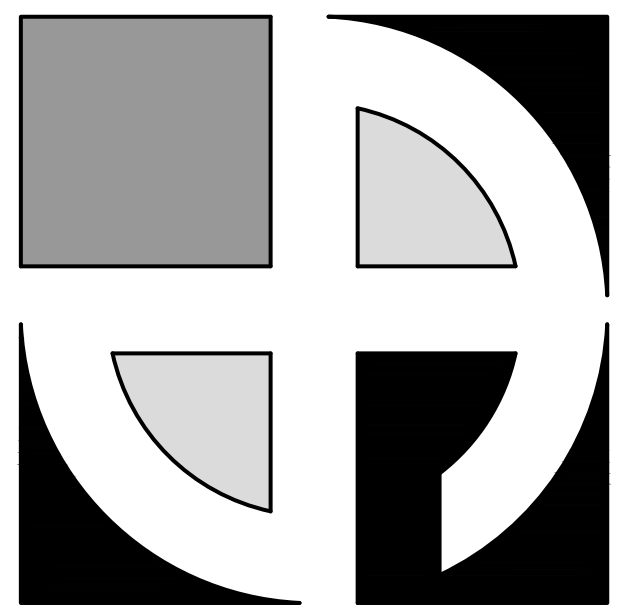
**2 LEFT ELEVATION**  
3/16"=1'-0"



**3 RIGHT ELEVATION**  
3/16"=1'-0"

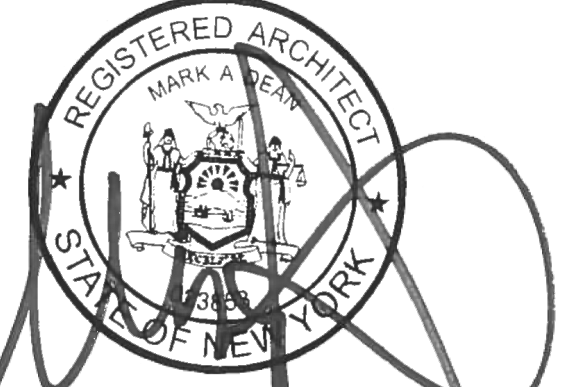


**4 REAR ELEVATION**  
3/16"=1'-0"



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**25-306**

Project For:  
**Scott Chauncey**  
3675 Main St.  
Piffard, NY 14533

No.	Description	Date	By

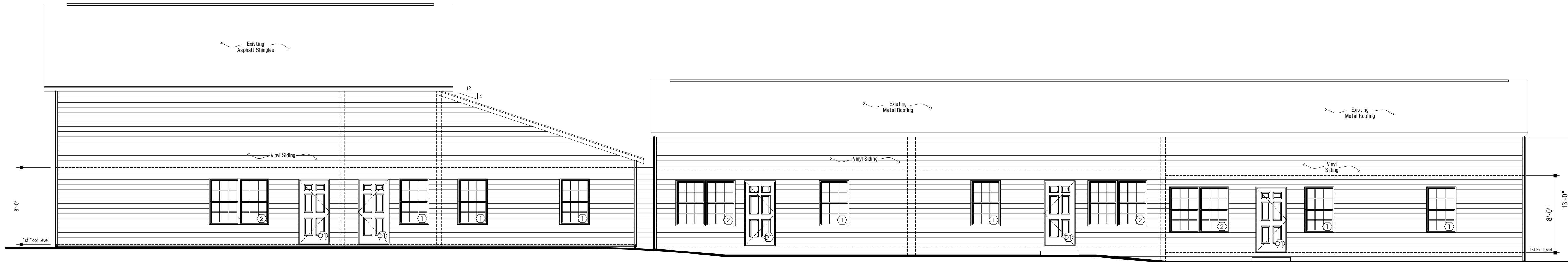
DATE: 10-29-2025

DRAWN BY: E. Lenney  
CHECKED BY: M. Dean

SCALE: 3/16"= 1'-0"

ELEVATIONS

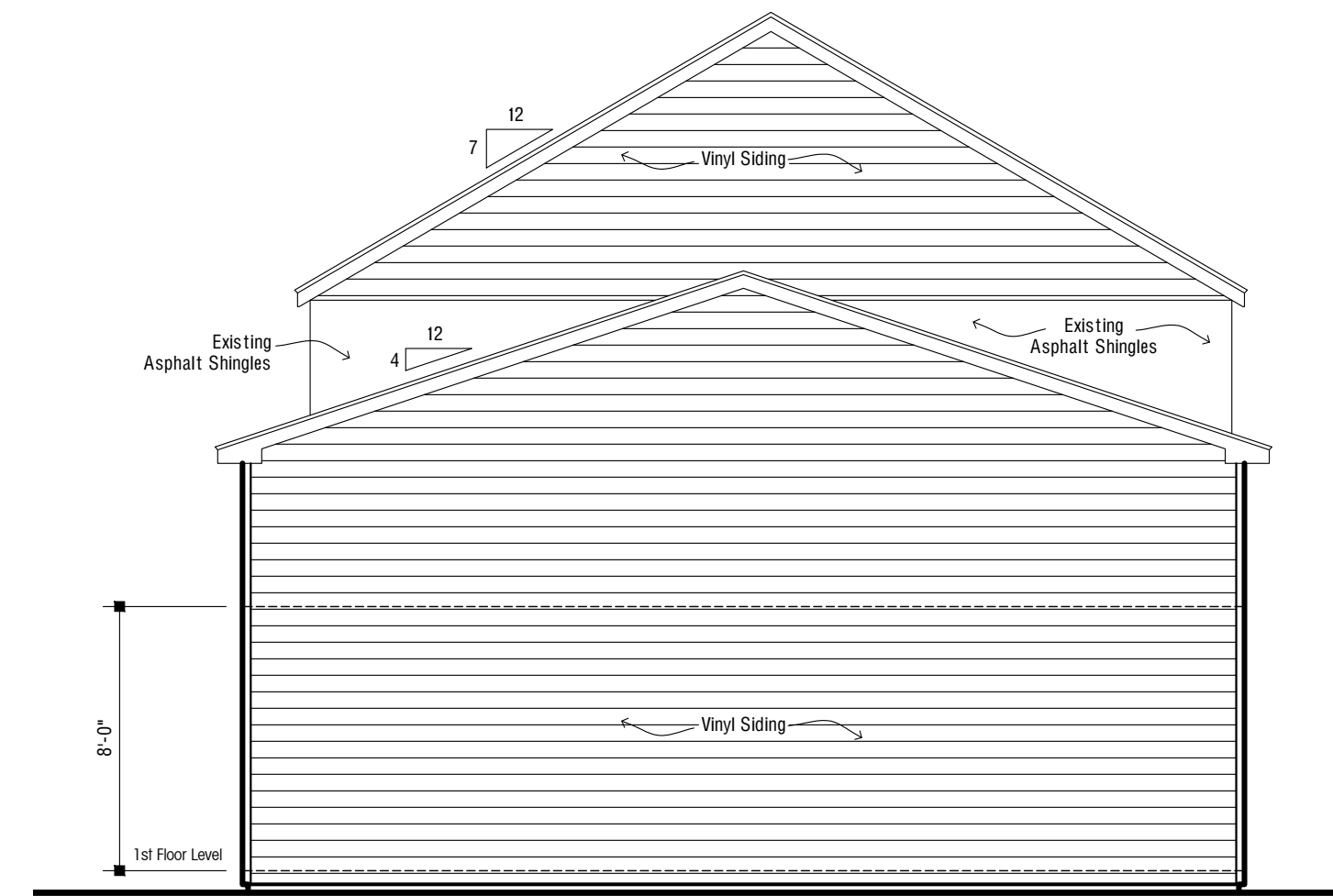
**A5**



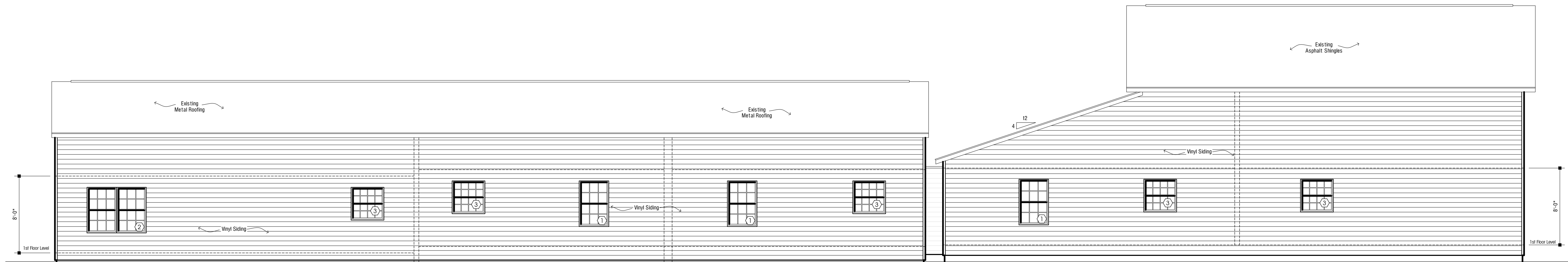
**1 FRONT ELEVATION**  
3/16"=1'-0"



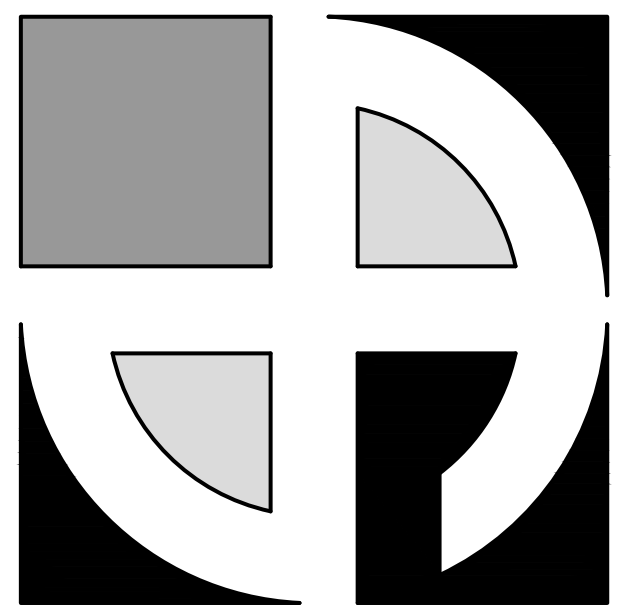
**2 LEFT ELEVATION**  
3/16"=1'-0"



**3 RIGHT ELEVATION**  
3/16"=1'-0"



**4 REAR ELEVATION**  
3/16"=1'-0"



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Piffard, NY 14533

No.	Description	Date	By

DATE:  
10-29-2025

DRAWN BY:  
E. Lenney

CHECKED BY:  
M. Dean

SCALE:  
3/16"= 1'-0"

ELEVATIONS  
ALTERNATE

**A6**