

TOWN OF YORK
 2668 Main Street, P O Box 187, York, NY 14592-0187
 Tel: (585) 243-3128 Fax: (585) 243-4618
 TTY NY: (800) 662-1220

Zoning Board of Appeals (ZBA) Application

Project Name: 2517 Genesee St Apartments
Applicant Name: Chauncey Homes LLC

1. Type of Request. Check the type of request you are applying for and complete the indicated sections of this application. If you are uncertain which request you are applying for, consult with the Town of York Code Enforcement Officer or the Town of York Zoning Clerk.

✓ All requests	Request Type	Complete All Required Sections
	Appeal and/or Interpretation	1, 2, 3, 4, 5, 6
✓	Area Variance	1, 2, 3, 4, 5, 7
	Use Variance	1, 2, 3, 4, 5, 8

All use variances and area variances (except those involving single-family and two-family dwellings), (Check with Code Enforcement Office to see which form is needed) **SEQR:** [State Environmental Quality Review Act \(SEQR\) Forms - NYS Dept. of Environmental Conservation](#)

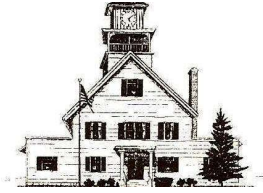
All use and area within 500' of agriculture: If the proposed activity will be on property within an agricultural district containing a farm operation or on property with boundaries within 500 ft. of a farm operation located within an agricultural district, then an ag data statement must be completed. Check with Town Assessor for property owners to be listed on the form.
[NEW Copy of Agricultural Data Statement 002 .pdf \(yorkny.org\)](#)

Notice to Applicant: By law, the application or amendment must be referred to the County Planning Board if it applies to real property within 500 feet of: A municipal boundary, The right-of-way of any state or county road, A state or county park or recreation area (existing or proposed), State or county land on which a public building or institution is located, A farm operation within an [agricultural district](#) as defined by Article 25-AA of the New York State Agriculture and Markets Law, Existing or proposed right-of-way of any county stream or drainage channel. [Referral Trigger Map](#)

Requests will also require a public hearing seeking comments from the public on the requested variance.

Please describe your request, in general:

The applicant requests an area variance from the 75-foot minimum building separation requirement for a property containing existing buildings that are approximately 16 feet apart. The condition is pre-existing, and the variance is necessary to allow reasonable development and use of the property without requiring demolition or relocation of existing structures. The variance will not alter the existing building locations or adversely affect neighboring properties, public safety, or the character of the area.



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5. Application Procedure. The following check list includes all documents required for the Town of York Code Enforcement Officer or Zoning Clerk to begin the ZBA process.

NOTE: Partial sets will not be accepted for submittal.

Application Form and Fees. A completed application form and the application fee are required with the initial submittal.

SEQR Short Environmental Assessment Form. A completed Short EAF is required for all Use Variance applications and for Area Variance applications related to properties other than single-family and two-family dwelling properties.

Proof of Ownership. Current proof of ownership of the property to utilized or contractual ability to acquire such land. If applicant is a tenant or agent of owner, then proof of ownership and written permission of owner for applicant to apply for zoning relief. Copy of Tax bill is not proof of ownership.

Response to Criteria. A completed, detailed written response to the review criteria referenced in section 1 and described in section 6, 7, and 8.

Copies. At the time of submittal, a complete electronic file of the site plan, landscape plan, elevation drawing, color renderings, complete checklist and application documents must be emailed to planningzoningclrk@yorkny.org. This will then be forwarded to the zoning board.

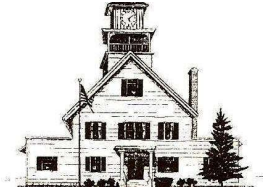
NOTE: The applicant and property owner will be notified when the application will be heard at a scheduled hearing.

I, Scott Chauncey (applicant), do hereby swear that the information given herein is true and correct.

I, Scott Chauncey (property owner), do hereby give permission for Town of York officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

Scott Chauncey June 4, 2026 Scott Chauncey
 Signature of Applicant Date Printed Name of Applicant

 Signature of Property Owner (If different) Date Printed Name of Property Owner (If different)



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7. Criteria for AREA Variances. The ZBA may grant an area variance only upon a finding that a practical difficulty exists. Please respond to the following statements.

a. Public Safety and Welfare. Will the granting of a variance create an undesirable change to the character of the neighborhood or be a detriment to nearby properties?

see attached.

b. Alternate Options. Can the benefit sought by the applicant be achieved by some other method, feasible for the applicant to pursue, other than an area variance?

see attached.

c. The degree of variance. Is the requested area variance substantial?

see attached.

d. Level of effect. Will the requested variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?

see attached.

e. Not Self-Created. Is the alleged difficulty self-created?

see attached.

The ZBA, in granting an area variance, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.



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8. Criteria for USE Variances. A Use variance is issued to permit a use that is otherwise not permitted in the existing zoning district. The ZBA may only grant a use variance upon a showing by the applicant that applicable zoning regulations and restrictions have caused an unnecessary hardship. Please respond with regard to the following criteria. In addition, a use variance request shall include a plot plan drawn to scale detailing the specific use and improvements proposed by the applicant. The applicant must demonstrate all the following criteria to obtain a use variance.

a. Unreasonable Current Zoning Designation. Describe how the applicant, without a use variance, cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence. Can the property be reasonably used for any purpose permitted in the zoning district without the use variance?

b. Unique Circumstances. Describe how the alleged hardship relating to the property in question is unique and does not apply to a substantial portion of the district or neighborhood. What are the circumstances or conditions peculiar to the subject property that are not generally applicable in the area or to other properties in the same zoning district?

c. Character of the Area. Describe how granting of the requested use variance will not alter the essential character of the neighborhood. Take into consideration the established type and pattern of land uses in the area as well as the natural characteristics of the site and surrounding area when evaluating this criteria.

d. Not Self-Created. Describe how the alleged hardship has not been self-created. Are there special conditions or circumstances related to subject property that make the variance request necessary and which have not been created by or resulted from the actions of the applicant or the applicant's predecessors?

The ZBA, in granting a use variance, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.



Chauncey Homes LLC
2517 Main Street
Piffard NY 14533
(585) 969-1141
scottmchauncey@gmail.com

Area Variance Proposal - 2517 Genesee Street

Applicant: Chauncey Homes LLC

Project: Conversion of existing commercial building into 5 apartments

Location: 2517 Genesee Street, York, NY

Dear Mr. Geiger and Members of the York Zoning Board of Appeals,

Chauncey Homes LLC respectfully submits this application for an area variance related to the existing building separation at the property located at 3678 Main Street / 2517 Genesee Street in the Town of York.

This request arises from the Planning Board's review of the proposed adaptive reuse of an existing one story commercial building into five residential apartments. During that review, the applicant was directed to seek ZBA relief because the existing building to building separation is approximately sixteen (16) feet, while the Town has identified a seventy five (75) foot building separation requirement for the project.

The applicant is not proposing to move the buildings closer together, expand the building footprint, increase building height, reduce setbacks, or create a new encroachment. The approximately sixteen foot separation is a longstanding pre-existing site condition. The variance request is intended to allow the Planning Board site plan process to continue while recognizing an existing physical condition that cannot be corrected without demolition or relocation of existing structures.

The project will substantially improve the property by converting an underused commercial building into code compliant residential housing, improving life safety, organizing parking, removing regular vehicular access from Route 63, creating and maintaining a fire lane, coordinating utilities, and improving the overall appearance and function of the site.

Chauncey Homes LLC respectfully requests approval of the requested area variance so the project may continue through Planning Board site plan review, with the submitted site plan package, architect letters, revised construction documents, and supporting exhibits incorporated into the ZBA record for this application.

1. Project Summary

The proposed project is the adaptive reuse of an existing developed site. The project converts an existing one story commercial building into five residential apartments consisting of four two bedroom apartments and one three bedroom apartment. The project does not require expansion of the existing building footprint or height.

The site plan provides thirty eight (38) total parking spaces where twenty nine (29) are required, creating an organized parking layout with numbered spaces, assigned tenant parking, guest parking, and internal circulation. Regular vehicular access from Route 63 will be eliminated. The Route 63 frontage and the approximately sixteen foot corridor between the buildings will be maintained as a clear emergency access and no parking corridor.

The project also provides substantial green space, low profile residential lighting, utility coordination with National Grid, snow storage, functional safety signage, and continued use of existing water and sewer infrastructure. The proposal is a rehabilitation and reuse project that preserves the existing site layout while improving safety, function, and residential compatibility.

2. Area Variance Criteria Response

a. Public Safety and Welfare

Granting the requested variance will not create an undesirable change in the character of the neighborhood or create a detriment to nearby properties.

The existing building separation of approximately sixteen feet has existed for many years. The project does not reduce that separation or move either building closer to the other. Instead, the project improves the existing condition through residential reuse, modern construction, fire rated assemblies, improved egress, improved emergency access, and better site management.

The prior commercial condition involved less predictable circulation, service vehicles, deliveries, and less controlled site activity. The proposed residential use is quieter, more predictable, and more compatible with the surrounding residential and mixed use character of the area.

The project also improves public safety by closing Route 63 to regular vehicle use, preserving the corridor as emergency access only, adding no parking and keep clear signage, maintaining the area free of vehicles and storage, and coordinating emergency access with the Fire Chief and applicable responders.

Most importantly, the applicant is adding specific fire resistance measures to address the existing building separation. These include metal siding on new construction, Type X fire rated interior wall protection on the side of the carriage house style building facing the nearby pre-existing structure, added fire resistant protection at eaves where appropriate, and recognition that the nearby building already has stucco siding, which provides fire resistant characteristics.

For these reasons, the variance will not create a new public safety issue. It will allow an existing condition to be managed and improved.

b. Alternate Options

There is no feasible alternative that would allow the applicant to achieve the project benefits without the requested variance.

The buildings already exist approximately sixteen feet apart. Full compliance with a seventy five foot building separation would require demolition, relocation, or major reconstruction of existing structures. That is not practical, economically reasonable, or necessary to protect the public.

A redesign cannot solve the separation issue because the issue is created by the historic location of the existing buildings, not by the proposed apartment layouts. Reducing the number of apartments would not move the buildings farther apart. Changing parking would not move the buildings farther apart. Interior revisions would not move the buildings farther apart.

The only practical path is to recognize the existing physical condition and allow the project to proceed with appropriate fire safety, emergency access, and site management improvements. The requested variance is therefore the minimum relief necessary to allow reasonable redevelopment of the property.

c. The Degree of Variance

The requested area variance is not substantial when evaluated in practical effect, life-safety impact, and overall land-use impact. The request concerns a fixed, pre-existing condition, does not intensify that condition, occurs in a district where multifamily is permitted, and is now paired with additional fire-resistance and access protections.

The existing buildings are already separated by approximately sixteen (16) feet. The applicant is not proposing to reduce that separation, move either building closer to the other, expand either building toward the other, increase building height, or increase lot coverage. The physical building-to-building condition will remain unchanged.

The site plan and architect's letter also support the conclusion that, from a life-safety perspective, the existing separation can be safely managed, particularly where the project also adds extra fire-resistance measures and access controls. As noted in the architect's materials, Table R302.1(1) of the 2025 Residential Building Code of New York State identifies a five (5) foot fire-separation distance benchmark for separate dwelling units located on the same lot. The existing approximately sixteen (16) foot separation is more than three times that State Code distance, which supports the conclusion that the existing separation can be safely managed when paired with the proposed fire-resistance and access improvements.

In addition, the project improves the fire-resistance profile of the existing condition. The applicant will use metal siding on new construction, add Type X fire-rated protection on the wall facing the adjacent pre-existing building, add eave protection where appropriate, and maintain

the benefit of the adjacent building's existing stucco exterior. The area between the buildings will remain clear as a no-parking and emergency access corridor.

The project also reduces the overall nonconforming and intensive character of the site. The prior legal use was an auto repair shop, which is a more intensive commercial use and requires special permit treatment in the Hamlet Commercial District. The proposed multifamily residential use is a permitted use in the Hamlet Commercial District and is more consistent with the surrounding residential and mixed-use character of the area.

For these reasons, the requested variance is not substantial in practical effect. It does not create a new separation issue, does not worsen the existing building condition, exceeds the State Code fire-separation distance cited by the architect, improves fire safety, and moves the property toward a more conforming and compatible permitted residential use.

d. Level of Effect

The requested variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

No new building footprint is proposed. No significant grading is proposed. No new pavement or material impervious surface change is proposed. Existing drainage patterns are expected to remain substantially unchanged. The project will use existing water and sewer infrastructure and does not create unusual utility demand.

The site will be improved through organized parking, functional safety signage, controlled Route 63 emergency access, low profile lighting, green space, screened waste handling, snow storage, and clearer site rules. The proposed residential use will also produce more predictable traffic patterns than the prior commercial condition.

The area between buildings will remain clear of vehicles, dumpsters, outdoor storage, snow storage, and obstructions. This improves emergency access and site safety compared with an unmanaged or unclear condition.

e. Not Self-Created

The difficulty is not self-created. The applicant's choice to pursue a permitted residential use did not create the dimensional condition; it only brought an existing condition into review as part of the site plan process.

The approximately sixteen foot building separation is a longstanding pre-existing site condition. The applicant did not place the existing buildings in their current locations as part of this application and is not proposing any action that would worsen the existing separation.

The need for the variance arises from applying the seventy five foot building separation requirement to an existing developed property with existing structures. The applicant's proposal

responds to that condition by improving the site rather than expanding or intensifying the physical nonconformity.

Although the applicant is proposing a permitted multifamily residential use, the physical condition is the pre-existing placement of the buildings. That condition was not created by the applicant's redevelopment proposal. In fact, the proposal improves the property's use-conformity profile by replacing the prior automotive use, which required special permit treatment, with multifamily residential use, which is permitted in the Hamlet Commercial District.

3. Fire Safety Plan

After the initial Planning Board submission, the architect revised the construction documents to incorporate several of the fire-safety measures described below, including additional fire-resistance details related to the building exposure facing the adjacent pre-existing structure. The revised construction documents are attached and submitted as part of this ZBA application.

First, the applicant will use metal siding on new construction associated with the carriage house style building. Metal siding provides a more fire resistant exterior surface than typical combustible siding materials.

Second, the interior side of the wall of the carriage house style building facing the adjacent pre-existing building approximately sixteen feet away will include Type X gypsum board protection to increase fire resistance on that exposure side.

Third, the applicant will add metal or aluminum fire-resistant protection at the eaves of the adjacent pre-existing building. Eaves and roof overhangs can be vulnerable areas for exterior fire exposure, and this added protection is intended to further reduce that risk. The architect has indicated that this level of added eave protection is not otherwise required by code, but the applicant is offering it voluntarily and in good faith as an additional fire-safety measure in response to the existing building separation.

Fourth, the adjacent pre-existing building already has stucco siding. Stucco is a fire resistant exterior finish and provides additional protection compared with more combustible exterior cladding materials.

Fifth, the approximately sixteen foot building to building corridor will remain open, clear, and unobstructed. It will not be used for parking, tenant storage, dumpster storage, vehicle storage, equipment storage, or snow storage. The area will be posted with reflective signage such as "No Parking," "Keep Clear At All Times," and "Emergency Access Only."

Sixth, regular vehicular access from Route 63 will be eliminated. Route 63 will be maintained as an emergency access and no parking corridor only, with the final gate type, placement, and emergency access method coordinated with the Fire Chief and applicable emergency responders.

Seventh, all construction will comply with applicable New York State Building Code, Fire Code, Energy Code, and Town of York Building Department requirements.

Together, these measures improve the fire safety profile of the property while recognizing that the existing building separation cannot realistically be changed without removing or relocating existing buildings.

4. Egress and Means of Exit

The proposed new residential construction (2517 Genesee St) has been designed by the licensed architect to meet applicable code requirements for ingress, egress, and safe means of exit. In the event of a fire or emergency, occupants will have code compliant exit paths from the new residential units.

The adjacent pre-existing building (2519 Genesee St) located approximately sixteen feet away also contains apartments with established means of ingress and egress. Four of the five apartments in that building have two exterior doors, including two second floor apartments with exterior fire escape access serving as full exterior exit routes. The fifth apartment is located on the first floor and has existing exterior access and code-recognized emergency escape and rescue openings. These pre-existing exit conditions, together with the proposed fire resistant improvements and clear emergency access corridor, support safe occupant evacuation from both buildings.

5. Incorporation of Planning Board Site Plan Materials, Architect Letters, and Supporting Exhibits

The applicant incorporates by reference the Planning Board site plan review package submitted for this project and requests that those materials be included in the ZBA's review record. The incorporated materials include:

Exhibit 1: SEQRA materials

Exhibit 2: Architect letters from Dean Architect

Exhibit 3: Site plan application and proposal, including fire and life safety information, parking plan, emergency access and fire lane information, National Grid utility coordination, and aerial photos of the site

Exhibit 4: Stamped architect site plan

Exhibit 5: Stamped architectural drawings and building elevations

The architect's materials address code compliance, building configuration, fire separation, party wall design, sprinkler analysis, and Multiple Residence Law review.

The site plan materials are directly relevant to the ZBA's review because they show that the applicant is not merely asking for relief from a dimensional standard. The applicant is proposing a more organized, safer, and more residential site condition. The site plan includes internal parking, numbered parking spaces, removal of regular Route 63 access, a controlled fire lane,

emergency access signage, low profile lighting, green space, snow storage, waste screening, and use of existing utilities.

The architect and site plan materials support the core point of this area variance application: the project does not worsen the existing building separation. It improves the property while preserving the existing physical layout. The architect's letter and site plan materials are especially relevant to the degree-of-variance analysis because they confirm that the existing approximately sixteen (16) foot building separation exceeds the five (5) foot State Code fire-separation distance cited for separate dwelling units on the same lot, while the site plan adds fire access and fire-resistance improvements.

6. Conclusion

This application asks the ZBA to approve area variance relief for a longstanding pre-existing building separation condition. The existing buildings are approximately sixteen feet apart, while the Town has identified a seventy five foot separation requirement for the project. The applicant is not creating that condition, worsening that condition, or asking to build closer than what already exists.

The requested variance will allow the Planning Board to continue reviewing a project that improves the property in multiple ways: adaptive reuse of an existing building, new code compliant housing, improved fire resistance, improved emergency access, organized parking, safer pedestrian movement, utility coordination, green space, and better long term site management.

The variance is the minimum relief necessary because the only way to achieve strict dimensional compliance would be demolition or relocation of existing structures. That result is not practical and would not create a better planning outcome for the Town.

When the five area variance factors are balanced, the benefit to the applicant and the community outweighs any potential detriment. The project recognizes an existing condition, improves life safety, avoids new site disturbance, and allows a well planned permitted residential reuse to proceed.

For these reasons, Chauncey Homes LLC respectfully requests that the Zoning Board of Appeals grant the requested area variance.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Conversion of existing commercial building to five apartments at 2517 Genesee Street			
Project Location (describe, and attach a location map): 2517 Genessee St, Piffard NY (Tax map address is 3678 Main St, Piffard NY)			
Brief Description of Proposed Action: Adaptive reuse of the existing one story commercial building at 2517 Genesee Street, Town of York, into five code compliant residential apartments located entirely within the existing building footprint. The project consists primarily of interior renovations to the existing structure, with no building additions, expansion of the footprint, or disturbance to the existing site conditions. Site improvements are limited and primarily involve existing conditions and previously improved areas. No new asphalt, significant grading, land disturbance, or material change to the site is proposed. The proposed residential use is expected to generate less traffic and overall intensity than the prior commercial use, with no substantial change to drainage or stormwater conditions.			
Name of Applicant or Sponsor: Chauncey Homes LLC		Telephone: 585 969 1141 E-Mail: scott@chaunceyproperties.com	
Address: 300 Air Park Suite 80			
City/PO: Rochester		State: NY	Zip Code: 14624
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Planning Board Site Plan Approval; Livingston County Planning Board referral (if required under GML 239) and Building Permit		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____		1.4 acres	
b. Total acreage to be physically disturbed? _____		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____		_____ acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: Meets RESCheck Compliance _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

April 27, 2026

**Town of York Building Department
York Town Hall
York, NY 14592**

Attn: Code Enforcement Officer

**Re: Scott Chauncey
3678 Main Street
Piffard, NY 14533**

To Whom It May Concern,

With regard to 3678 Main Street, we are providing the following information:

The building has been designed to be multiple two-family dwelling buildings, which we have achieved by using party walls, which would prompted the use of the 2025 Residential Building Code of New York State. Please find below code references that support the proposed approach.

According to the 2025 Building Code of New York State, Table 706.1.1 Party Walls states that any wall between adjacent buildings shall be constructed as a fire wall according to Section 706. Party walls shall be constructed without openings and shall create separate buildings.

As stated in the 2025 Building Code of New York State, Table 706.4 Fire Wall Fire-Resistance Ratings, residential group R-2, in Type V construction, is permitted to have a 2-hour fire-resistance rating.

As per the 2025 Residential Building Code of New York State, R309.2 an automatic sprinkler system shall be installed in one and two-family dwellings where such dwellings have a height of three stories above grade plane. Since the building is only a one-story building, a sprinkler system is not required.

As per Table R302.1(1) Exterior Walls, minimum fire separation distance between separate dwelling units located on the same lot is 5 feet and does not need to be fire-resistance rated.

If you have any questions or concerns, please contact my office at your earliest convenience.

**Sincerely,
Dean Architects,**

Mark A. Dean,
Principal + RA, NCARB, AIA
LEED Green Associate



D·E·A·N
ARCHITECTS



8353 Main Street
Clarence, NY 14221

P: (716) 651-0381
F: (716) 651-0382

States of Licensure

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ARCHITECTS



8353 Main Street
Clarence, NY 14221

P: (716) 651-0381
F: (716) 651-0382

May 14th, 2026

**Town of York Building Department
York Town Hall
York, NY 14592**

Attn: Code Enforcement Officer

**Re: Scott Chauncey
3678 Main Street
Piffard, NY 14533**

To Whom It May Concern,

With regard to 3678 Main Street, we are providing the following information:

We have reviewed the Multiple Residence Law and according to Article 9, Section 329.2 it states that upon the adoption by any municipality of any state building construction code, provisions of article four, five, six and seven of this [MRE] chapter shall become inoperative with the respect to the construction of such dwellings in any such municipality so long as the state building construction code is applicable and operative.

According to the Town of York Zoning Ordinance Section 612, Multi-Family Dwelling, all structures shall comply with the NYS Uniform Code.

The existing building has been designed and fire rated according to the 2025 Building Code of New York State and 2025 Residential Building Code of New York State.

If you have any questions or concerns, please contact my office at your earliest convenience.

**Sincerely,
Dean Architects,**

Mark A. Dean,
Principal + RA, NCARB, AIA
LEED Green Associate

States of Licensure

AL • AZ • CA • CO • CT
DE • FL • GA • ID • IL
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ME • MI • MN • MS • NH
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May 15th, 2026

**Town of York Planning Board
York Town Hall
2668 Main Street
P.O Box 187
York, NY 14592**

**Re: Scott Chauncey
3678 Main Street
Piffard, NY 14533
Proposed 5-unit apartment building**

Dear Members of the Planning Board,

We are pleased to present this application to the Town of York Planning Board for Site Plan approval for the development of five (5) residential unit building.

The project will consist of the conversion of an existing one-story commercial building into a five-unit residential apartment building. The existing building, while varying in size, has an overall footprint of 152' x 30' with a total of 38 parking spaces provided. The building will consist of (4) 2-bedroom apartments between 700 and 740 sq. ft in size and (1) 3-bedroom apartments with 1065 sq. ft in size.

There will be no expansion of the building's footprint or height and no new impact on existing setbacks or drainage.

For your review, we have attached the following documents:

- Site Plan
- Building Floor Plans
- Building Elevations
- Two letters regarding compliance with the NYS State Codes and review of the Multiple Residence Law
- Design and Site Plan Review Application
- All forms and Information to NYS State Environmental Quality Review Act (SEQRA)
- National Grid Utility Survey
- Supporting and supplemental documents

Should you have any questions or require any additional materials prior to completing your review, please contact our office at your earliest convenience.

**Sincerely,
Dean Architects,**

Mark A. Dean,
Principal + RA, NCARB, AIA
LEED Green Associate



Exhibit 3: Site plan application and proposal, including fire and life safety information, parking plan, emergency access and fire lane information, National Grid utility coordination, and aerial

Application # _____
Preliminary _____
Final _____

TOWN OF YORK
APPLICATION FOR REVIEW AND APPROVAL OF SITE PLAN

Applicant Name Chauncey Homes LLC

Owner & Address, if different _____

Address: 418 Broadway Ste 4791, Albany NY 12207

Phone #: 585-969-1141 Phone #: _____

I, the undersigned applicant/owner hereby request approval by the Town of York Planning Board for the following site plan(s).

2517 Genesee St, Piffard NY 14533 Date: May 15, 2026

Plan prepared by the following licensed engineer and/or land surveyor:

Name: Dean Architects Phone #: (716) 651-0381

Address: 8353 Main St, Williamsville, NY 14221

Name of site plan: 2517 Genesee St, Piffard NY 14533

Proposed use of site: Five residential apartments

Will you be applying for a tax exemption (other than a RPTL485-b, business exemption)? No

Location of proposed site plan (distance and direction to nearest road intersection) _____

2517 Genesee St, Piffard NY 14533; corner of Route 36 and Route 63

Tax Map #: 60.20-1-24.12 Total site area (square ft./acres): 1.4 acres of parcel

Zoning district: Hamlet Commercial (HC) Current use of land: Mixed-use (residential primary, plus commercial)

Current condition of site (buildings, brush, etc.): Improved site (buildings, parking lot, greenspace - all pre-existing)

Character of the surrounding lands (agricultural, wetlands, commercial, suburban, etc.): Residential/suburban

Is the property in a flood hazard district area? No

Describe any casements and/or other restrictions on the property: Typical utility easements only

Names of adjoining property owners or owners directly across highway/with tax map #: _____

2513 Genesee St: 60.20-1-15.2 (Justin and Elissa Abbott); 3666 Main St: 60.20-1-20.1 (Kristy Rapone)
York Travel Center

Are there any state and federal permits required? None

List type and appropriate department: None

ADDITIONAL FORMS REQUIRED:

SEQR FORM – check with Code Enforcement Office to see which form is needed

1. SEQR Forms – a completed EAF (front only) – short form or the long form

AG DATA STATEMENT

If the proposed activity will be on property within an agricultural district containing a farm operation or on property with boundaries within 500 ft. of a farm operation located within an agricultural district, then an ag data statement must be completed.

Check with Town Assessor for property owners to be listed on the form.

REVIEW ITEMS (these may be further reviewed by the Planning Board)

A complete site plan checklist and the zoning code are available from the code enforcement office

1. Building location: 2517 Genesee St, Piffard NY 14533

2. Building uses, both primary and secondary uses, ground floor area height, and number of stories of each building:

Building #1: 3670 Main St - Residential 1 story; Building #2: 3678 Main St - Residential 2 story

Building #3: 2519 Genesee St - Residential 2 story; Building #4 (proposed): 2517 Genesee St - Residential 1 story

3. Building(s) architecture/colors/textures/design – compatibility with character of York: _____

No significant change to color or design, change characteristics from commercial to residential (ie garage doors)

4. Parking (number of spaces and location): 38 spots, 31 tenant 7 guests

5. Lighting (lighting plan may be required): None existing for residential use; will be adding lighting to parking area for safety

6. Traffic/Road(s) location: Ingress/egress on Route 36 only

7. Is public water available? Yes Is public sewer available? Yes

8. Landscaping (landscaping plan may be required): No material changes

This application was reviewed by the code enforcement officer:

_____ Date: _____

Final Approval granted on: _____

5/1/06

Date

Signature of Planning Board Chairman



Chauncey Homes LLC
2517 Main Street
Piffard NY 14533
(585) 969-1141
scottmchauncey@gmail.com

Planning Board Submission – Preliminary Site Plan Narrative

Applicant: Chauncey Homes LLC

Project: Conversion of existing commercial building into 5 apartments

Location: 2517 Genesee Street, York, NY

Dear Members of the Planning Board,

Chauncey Homes LLC respectfully submits this application for Preliminary Site Plan Review for the adaptive reuse of an existing one story commercial building at 2517 Genesee Street into five residential dwelling units.

This submission package includes:

1. Stamped architectural site plan and building construction documents
2. Town site plan application
3. Short Environmental Assessment Form
4. §1103 Compliance Matrix
5. Parking plan with numbered parking spaces
6. Architect letters addressing code, design, and building configuration
7. Supporting site plan narrative and supplemental materials

The purpose of this cover letter is to summarize the key planning considerations for the Board.

1. Existing Building Reuse, No Expansion, No New Setback Impact

This project is an adaptive reuse of an existing developed site and existing building. The proposed residential dwelling units are located within the existing building footprint. The project does not expand the building footprint, increase building height, reduce existing setbacks, or move the building closer to any neighboring structure.

Article VII of the Town of York Zoning Code expressly recognizes the continued existence of pre-existing nonconforming uses, structures, buildings, and lots. Section 701 states:

“This Section regulates and limits the continued existence of uses, structures, and lots, and all accessory uses and structures, established prior to the effective date of this Chapter that do not conform to the regulations of this Chapter applicable in the zoning

districts in which such nonconformities are located. Such nonconforming uses, buildings, or lots may be continued in conformance with the regulations set forth in this Chapter.”

The existing building location, setback relationships, and building separation conditions are longstanding pre-existing site conditions. The application does not enlarge or extend the existing building and does not reduce any setback. The project therefore does not create a new nonconformity and does not increase the degree of any existing nonconformity.

This is consistent with Section 702(A)(3), which provides:

“No nonconforming building or structure shall be enlarged, extended, or increased unless such enlargement would tend to reduce the degree of nonconformance. This shall not be interpreted to prohibit additions to residential dwellings that do not impact the degree of nonconformance with regards to setbacks or minimum lot size.”

Here, there is no building enlargement, extension, or increase. Even if the existing setback condition is treated as nonconforming, the proposed work does not impact the degree of nonconformance with regard to setbacks or minimum lot size.

Section 702(A)(4) also confirms that the Zoning Code should not prevent work necessary to make an existing building safe:

“Nothing in this Chapter shall prevent the strengthening or restoration to a safe condition any wall, roof, floor, or other structural component which has been declared as unsafe by the Code Enforcement Officer under the NYS Uniform Codes.”

The proposed work is consistent with that principle. The project rehabilitates and modernizes an existing building by adding residential life safety improvements, code compliant egress, fire rated separations, and improved emergency access.

The proposed conversion therefore reduces the overall degree of nonconformity by moving the site away from the prior commercial condition and into a residential use that is permitted and more compatible with the district.

For these reasons, the applicant respectfully submits that any existing setback or building separation issue should be treated as a pre-existing condition that is not being expanded, worsened, or made more nonconforming by this application.

2. Building Code, Fire Separation, and Life Safety Improvements

The submitted stamped plans are supported by two attached architect letters from Dean Architects addressing the building code, party wall, fire separation, sprinkler, and Multiple Residence Law issues.

The architect confirms that the building has been designed as multiple two-family dwelling buildings through the use of party walls. The architect further states that these party walls are to

be constructed without openings and “shall create separate buildings.” This design supports the use of the 2025 Residential Building Code of New York State.

This is important because the Town’s concern has focused heavily on building separation and setbacks. For fire safety and building-code purposes, the architect cites Table R302.1(1) of the 2025 Residential Building Code and states that the minimum fire separation distance between separate dwelling units located on the same lot is 5 feet and does not need to be fire-resistance rated. The existing building separation at issue is approximately 16 feet, which is more than three times the 5 foot Uniform Code fire-separation distance cited by the architect.

The architect also confirms that the building is only one story, that the cited sprinkler requirement is not triggered, and that the building has been designed and fire rated according to the 2025 Building Code of New York State and 2025 Residential Building Code of New York State.

The second architect letter was provided in response to the Town Attorney’s request regarding Multiple Residence Law. That letter states that under Multiple Residence Law Article 9, Section 329.2, once a municipality has adopted a state building construction code, the relevant construction provisions of the Multiple Residence Law are inoperative and not applicable.

The project improves life safety compared to the prior condition by adding fire rated separation assemblies, party wall configurations, code compliant dwelling layouts and egress, improved compartmentalization, improved emergency access, and a dedicated fire lane along the Route 63 frontage.

The project does not increase the existing building mass, reduce building separation distances, or create new encroachments. It improves an existing building through modern residential construction and fire separation measures. The applicant respectfully submits that building code, fire separation, party wall, sprinkler, and Multiple Residence Law construction issues are addressed by the stamped architectural plans and architect letters.

3. Parking and Circulation

Section 519(C) of the Town Code establishes the minimum required off-street parking standards. Based on the residential uses on the site, including the proposed five new apartments and the existing apartments, the project requires 29 parking spaces.

The submitted parking plan in Exhibit B provides 38 total parking spaces, exceeding the Town Code requirement by 9 spaces. The spaces are numbered and organized to support assigned tenant parking and guest parking.

The parking plan is designed to keep parking fully internal to the site, prevent overflow parking onto public roadways, and allow safe two-way vehicle circulation. Tenant vehicles will be required to be registered, insured, and tied to residential occupancy, and tenants will be limited to two vehicles per unit.



Each parking space will be identified with numbered signage. Where needed, spaces will also be controlled with surface-mounted wheel stops, similar to the example shown, pinned in place on the existing gravel surface without grading, excavation, paving, or reconstruction of the parking area.

Example surface-mounted wheel stop for parking space control. Photo provided for reference only.

Current and Proposed Apartment Count with Required Parking Calculation, per §519(c):

Building	Size	Required Parking
2519 Genesee St	Apt 1 - Studio	1 Space
	Apt 2A - 2 Bed	2 Spaces
	Apt 2B - 2 Bed	2 Spaces
	Apt 3 - 2 Bed	2 Spaces
	Apt 9 - 1 Bed	1 Space
3678 Main St	Apt 4 - 2 Bed	2 Spaces
	Apt 5 - 3 Bed	2 Spaces
	Apt 6 - 2 Bed	2 Spaces
	Apt 8 - 1 Bed	1 Space
	Apt 10 - 3 Bed	2 Spaces
3670 Main St	Apt 7 - 2 Bed	2 Spaces
2517 Genesee St	Apt 11 - 3 Bed	2 Spaces
	Apt 12 - 2 Bed	2 Spaces
	Apt 13 - 2 Bed	2 Spaces
	Apt 14 - 2 Bed	2 Spaces
	Apt 15 - 2 Bed	2 Spaces
	Total	29 Spaces

The proposed residential use will also result in lower and more predictable traffic than the prior commercial use, which involved higher turnover, delivery vehicles, service vehicles, and less controlled circulation. Overall, the parking plan exceeds the Town Code requirement and creates a safer, more organized site condition.

4. Route 63 Emergency Access, Fire Lane, and Roadway Safety

The plan eliminates regular vehicular access from Route 63. The Route 63 frontage will be controlled as an emergency access and no-parking corridor only, with no regular parking, no regular entry, and no regular exit.

The primary fire and emergency apparatus access will remain from Route 36 and the internal site circulation. The Route 63 corridor is intended to supplement and support that primary

access by remaining clear for responder access, hose access, pedestrian safety, and emergency operations.



The applicant also discussed this access concept with the Fire Chief. Based on that discussion, the applicant is proposing to control the Route 63 entrance with a swinging gate or similar emergency-access gate system. The purpose is to prevent regular tenant, guest, and civilian vehicle access while preserving emergency access when needed.

Example swinging gate concept for Route 63 emergency access entrance. Photo provided for reference only; Final gate type, placement, and access method can be coordinated with the Fire Chief and applicable emergency responders.

The existing building-to-building corridor is approximately 16 feet wide and will remain gravel. The applicant will maintain this area as a clear, unobstructed emergency access and no-parking corridor. No parked vehicles, stored materials, outdoor storage, dumpsters, or snow storage will be permitted in this area.

The area will be posted with reflective signage, including signs such as:

NO PARKING
KEEP CLEAR AT ALL TIMES
EMERGENCY ACCESS ONLY
NO PARKING OR STORAGE
UNAUTHORIZED VEHICLES SUBJECT TO TOWING AT OWNER'S EXPENSE

The applicant will enforce these restrictions through tenant rules, signage, lease enforcement, and towing where permitted. This improves safety by eliminating unnecessary turning conflicts onto Route 63, preserving a clear supplemental emergency access corridor, and preventing ambiguity about parking or vehicle access along the Route 63 frontage.

5. Pedestrian Safety and Site Function

By closing the Route 63 frontage to regular vehicle use, apartments that would otherwise open toward a drive aisle will instead open toward a non-vehicular fire lane area. This improves pedestrian safety for residents and reduces conflict between people, parked vehicles, and moving vehicles. The corridor will be posted with reflective “No Parking / Fire Lane / Keep Clear” signage and controlled by a swinging gate.

The proposed layout also creates a more orderly residential site, with defined parking, defined circulation, improved access control, and safer movement through the property.

The applicant also understands the Town is exploring grant opportunities for expanded sidewalk and crosswalk improvements near the Route 36 / Route 63 intersection. While those improvements are outside the scope of this site plan application, the applicant supports those efforts and believes the proposed site layout, including removal of regular vehicle access from Route 63, is consistent with the Town's broader pedestrian safety objectives.

6. Green Space, Lighting, Snow, and Site Maintenance

The project provides approximately 19,889 square feet of green space for resident use. This open space will help convert the site from a prior commercial condition into a more residential setting, with open lawn area, seating, picnic tables, grills, and community-use outdoor space.

Existing vegetation and green space will be retained where practical and used as natural buffering. The proposed layout improves the appearance and function of the property while preserving the rural/residential character of the area.

Solid waste and recycling will be maintained in a designated on-site location and screened to minimize visibility from residents, neighboring properties, and public roadways. A screened dumpster/enclosure location is shown on the site plan.



Low-profile residential lighting will be added near the parking areas to improve nighttime visibility and safety. Lighting will be directed and controlled to minimize glare and off-site light spill.

Example fixture shown for reference only; final fixture may vary but will be comparable low-profile, motion-sensing dusk-to-dawn LED lighting directed to minimize glare and off-site light spill.

The site plan also provides approximately 3,322 square feet of designated snow storage area, equal to approximately 15.6% of the parking area. This exceeds the 10% snow storage requirement and ensures snow can be stored on site without reducing required parking, blocking entrances, interfering with pedestrian areas, or obstructing the Route 63 fire lane.

The applicant will maintain a winter operations plan. Snow removal will begin at approximately two inches of accumulation, a local insured vendor will be used, and parking areas, entrances, walkways, and the fire lane will be kept clear. Salt will be applied as needed to reduce icy or hazardous conditions.

7. Utilities, Water, and Sewer

The project will use the existing water and sewer infrastructure already serving the property. The building is connected to an existing 4 inch sewer line, and the proposed residential use does not create unusual or extraordinary demand beyond normal residential use.

Based on New York State code fixture calculations, the proposed building is calculated at approximately 55 drainage fixture units. The minimum rated capacity of a 4 inch sewer line is 160 drainage fixture units, meaning the proposed building would use approximately 34% of the minimum rated capacity.

The site is already connected to existing water infrastructure, and the proposed residential conversion will not create any unusual or high-demand water use.

Utility coordination has been completed with National Grid. The National Grid survey is attached to this application as Exhibit D, and National Grid has designed service for the five residential units, including the new utility pole, required easement, and service layout. Existing meter banks will remain, and only three net new services are being added. Gas service will not serve the building after completion of the project, further improving the safety profile of the residential use.

8. Drainage, Disturbance Area, and Environmental Review

The project does not propose expansion of the existing building footprint, substantial grading, new pavement or impervious surface, parking lot reconstruction, or one acre or more of land disturbance. The site is already developed. Existing drainage patterns are expected to remain materially unchanged.

The only anticipated exterior disturbance is minor sign and fence post installation, totaling no more than approximately 100 square feet, far below the 43,560 square foot one-acre threshold. The plastic wheel stops will sit on top of the existing ground surface and be pinned in place without grading, excavation, paving, or parking lot reconstruction.

NYSDEC/EPA stormwater permitting is generally triggered by construction activity disturbing one acre or more, including earth-disturbing activities such as clearing, grading, and excavation. The applicant does not anticipate that a SWPPP is required because the project does not involve one acre or more of land disturbance, does not alter existing drainage patterns, and does not propose more than de minimis exterior ground disturbance. A Short Environmental Assessment Form is included with the submission for the Board's SEQRA review.

9. Planning Benefit and Request for Review

This proposal represents a substantial improvement over the prior condition of the site. It converts an existing commercial building into a permitted residential use, improves life safety, organizes parking, removes regular vehicular access from Route 63, creates a dedicated fire lane, improves pedestrian safety, coordinates utility infrastructure, and provides substantial green space.

The project does not expand the building, does not increase building height, does not reduce setbacks, and does not create new site nonconformities. It is a rehabilitation and reuse project that improves the property while preserving the existing site layout.

Chauncey Homes LLC respectfully requests that the Planning Board accept the submission for Preliminary Site Plan Review and provide any comments necessary to finalize the site plan in coordination with the Town.

Exhibit A: §1103 Site Plan Review Compliance Matrix

<u>Item</u>	<u>Requirement</u>	<u>Project Response / Location in Submission</u>
(1)	Title, applicant, preparer	Included on the stamped architectural/site drawings, site plan application, and cover letter.
(2)	North arrow, scale	Included on the stamped architectural/site drawings and site plan materials.
(3)	Property boundaries	Included on the stamped architectural/site drawings and site plan materials.
(4)	Existing features within 200 ft	Surrounding roads, structures, existing site conditions, and aerial site context are shown in the plans and supporting exhibits.
(5)	Grading & drainage	No building footprint expansion, substantial grading, new pavement, new impervious surface, parking lot reconstruction, or material drainage change is proposed. Existing drainage patterns will remain materially unchanged. To the extent detailed grading, contour, stormwater modeling, or drainage calculations would otherwise be required, the applicant requests waiver under §1102(A) because the project involves adaptive reuse of an existing developed site with only de minimis exterior disturbance.
(6)	Use, hours, building info	Proposed use is residential. The project converts an existing one story commercial building into five residential dwelling units within the existing building footprint. No commercial operation or building expansion is proposed.
(7)	Parking & loading design	Parking calculation is provided in the cover letter. The site requires 29 parking spaces and provides 38 total spaces, exceeding the requirement by 9 spaces. Spaces are numbered and organized for tenant and guest use, as outlined in the Exhibit. No loading area is required for the proposed residential use. Access and circulation shown on plan.
(8)	Pedestrian access	The Route 63 frontage is removed from regular vehicular access and maintained as a controlled emergency access and no-parking corridor. Pedestrian movement from parking areas to dwelling entrances is improved by separating regular vehicle circulation from the Route 63 frontage. Applicant also supports the Town's broader sidewalk/crosswalk efforts near Route 36 and Route 63, which are outside the scope of this application.
(9)	Solid waste facilities	Solid waste and recycling will be maintained in the designated on-site location shown on the site plan and screened to minimize visibility from residents, neighboring properties, and public roadways in accordance with §510.
(10)	Drive-in / queuing	Not applicable. The proposed use is residential and does not include drive-in service, drive-through activity, vehicle queuing, or customer service lanes. Applicant requests waiver of any further queuing analysis under §1102(A).

(11)	Building elevations & materials	Included in the stamped architectural drawing set. The project improves the exterior appearance and converts the prior commercial structure into a residential use.
(12)	Easements / utilities	National Grid survey and utility materials are attached as Exhibit D. National Grid has designed service for the five residential units, including the new utility pole, required easement, and service layout.
(13)	Outdoor storage	None proposed. No tenant storage, vehicle storage, dumpster storage, or snow storage will be permitted in the Route 63 emergency access corridor.
(14)	Site improvements	Proposed site improvements include organized and numbered parking, surface-mounted wheel stops, functional signage, controlled Route 63 emergency access/fire lane, low-profile lighting, pedestrian/site safety improvements, green space amenities, and snow storage.
(15)	Sewage disposal	The project will use existing sewer infrastructure already serving the property. The building is connected to an existing 4 inch sewer line. Based on New York State code fixture calculations, the proposed building is approximately 55 DFUs, compared to a minimum rated capacity of 160 DFUs for a 4 inch sewer line.
(16)	Water supply	The site is already connected to existing water infrastructure, and the proposed residential conversion will not create unusual or high-demand water use.
(17)	Fire & emergency access	Route 36 and internal circulation will serve as the primary fire and emergency access. Route 63 will be maintained as a supplemental emergency access and no-parking corridor, kept clear through signage, wheel stops, delineator posts where appropriate, tenant rules, lease enforcement, and towing where permitted. Two existing fire hydrants are located adjacent to the property and labeled on the site plan.
(18)	Energy / utilities	National Grid service plan is attached as Exhibit D. Existing meter banks will remain, five total services will be provided, and only three net new electric services are being added. Gas service will not serve the building after completion, improving the residential safety profile.
(19)	Signage	Functional signage only. Proposed signage includes numbered parking signs, No Parking, Fire Lane, Keep Clear, Emergency Access Only, No Entry/Exit, No Parking or Storage, and towing enforcement signage where permitted. No commercial advertising signage is proposed.
(20)	Buffer areas	Existing vegetation and green space will be retained where practical and used as natural buffering. Solid waste areas will be screened to reduce visibility.
(21)	Outdoor lighting	Four low-profile residential light fixtures are shown on the site plan near the parking and circulation areas. The cover letter includes an example fixture for reference, identifying the proposed type/style as comparable low-profile, motion-sensing dusk-to-dawn LED lighting. Fixtures will be mounted at a low

		residential height, generally approximately 10 to 15 feet, and directed or shielded to remain on site, minimize glare, reduce off-site light spill, and avoid direct illumination toward neighboring properties or public roadways, consistent with §518.
(22)	Recreation areas	The project provides approximately 19,889 square feet of green space for resident use, including open lawn area, seating, picnic tables, grills, and community-use outdoor space.
(23)	Open space/amenities	Same as above. The project preserves and improves existing open space and converts the site from a prior commercial condition into a more residential setting.
(24)	Summary table (site data)	Provided in the cover letter, parking calculation, plans, and supporting exhibits. Key site data includes approximately 1.4 acres, five proposed dwelling units, 38 parking spaces, 29 required parking spaces, 19,889 square feet of green space, 3,322 square feet of snow storage, no building footprint expansion, and no material impervious surface change.
(25)	Landscaping plan	Existing vegetation and green space will be retained where practical and used as natural buffering. Because no substantial grading, new parking lot construction, or major site disturbance is proposed, the applicant requests that the Board deem the existing green space and buffering plan sufficient.
(26)	Additional elements	Snow storage, winter operations, signage, fire lane controls, pedestrian safety, utility coordination, and parking controls are addressed in the cover letter and exhibits. The plan provides approximately 3,322 square feet of designated snow storage, equal to approximately 15.6% of the parking area.
(27)	SEQRA	Short Environmental Assessment Form is included. The application states the project is an adaptive reuse within the existing building footprint, with no additions, no expansion of footprint, no significant grading, and no material change to existing site conditions.
(28)	Agricultural data statement	Not applicable. The proposed activity is not located on property within an agricultural district containing a farm operation, and there are no farm operations within 500 feet of the proposed building. Therefore, an Agricultural Data Statement is not required for this application.
(29)	SWPPP	Not applicable. The project does not disturb more than one acre of land. The only anticipated exterior disturbance consists of minor sign and fence post installation totaling no more than approximately 100 square feet, far below the 43,560 square foot one-acre threshold. Surface-mounted wheel stops will be pinned in place without grading, excavation, paving, or parking lot reconstruction. Because the project does not meet the disturbance threshold identified in §1103(29), a SWPPP is not required.

Exhibit B: Detailed Parking Plans

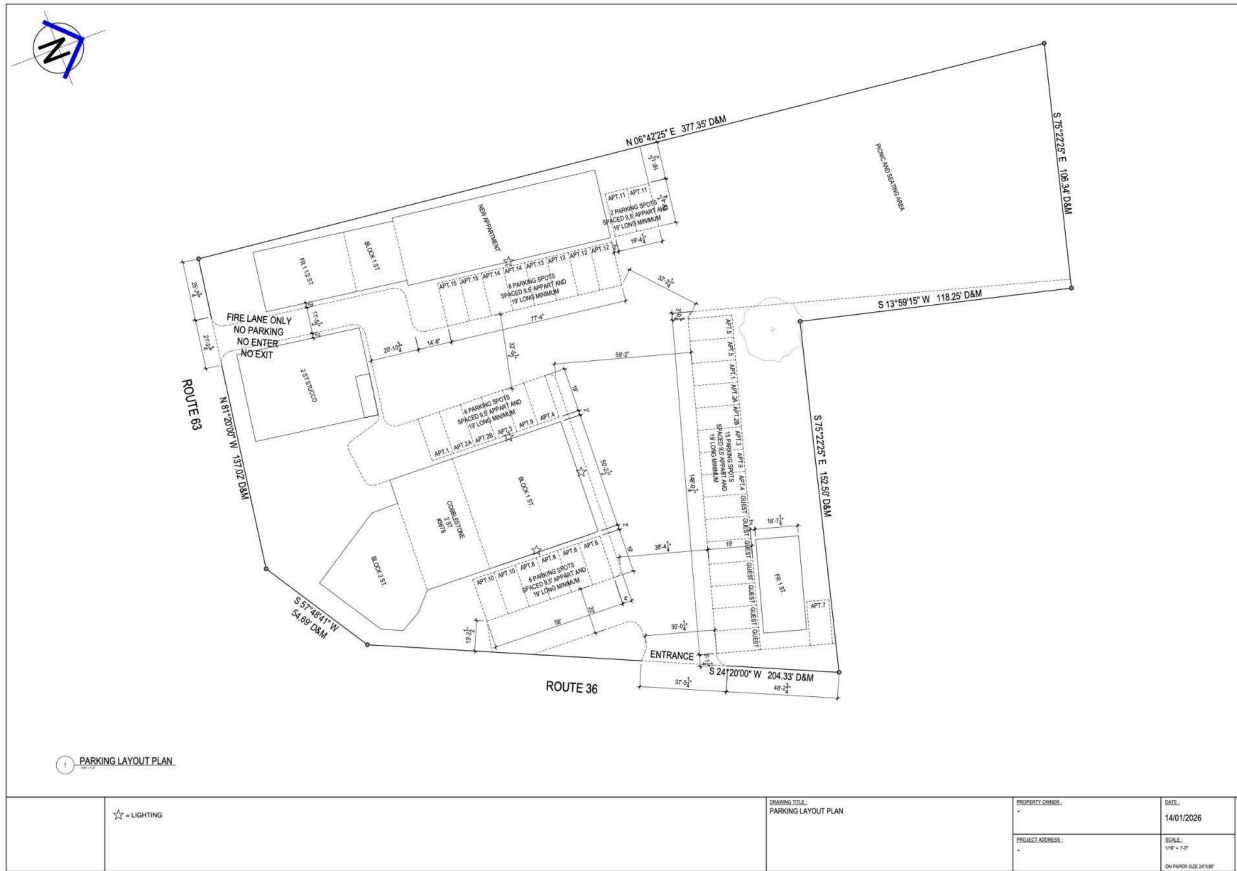
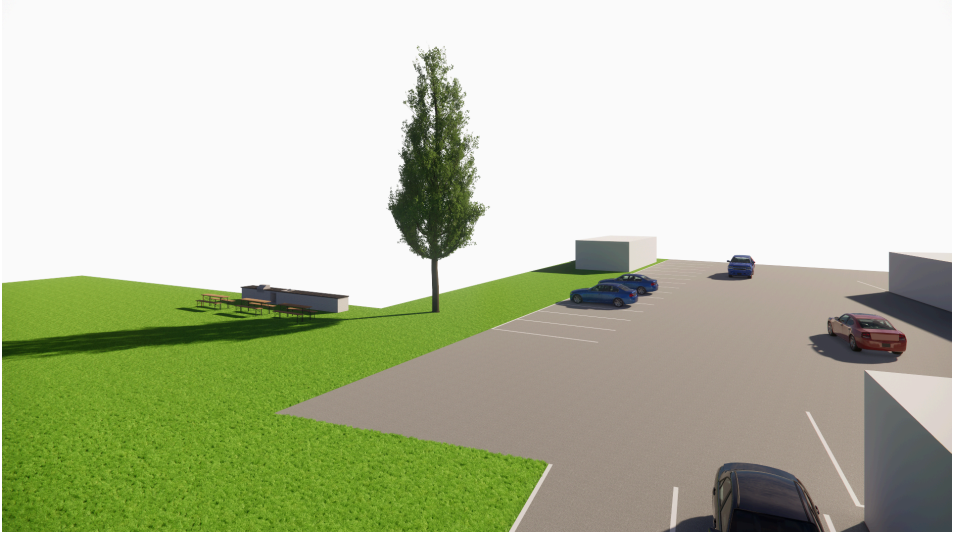
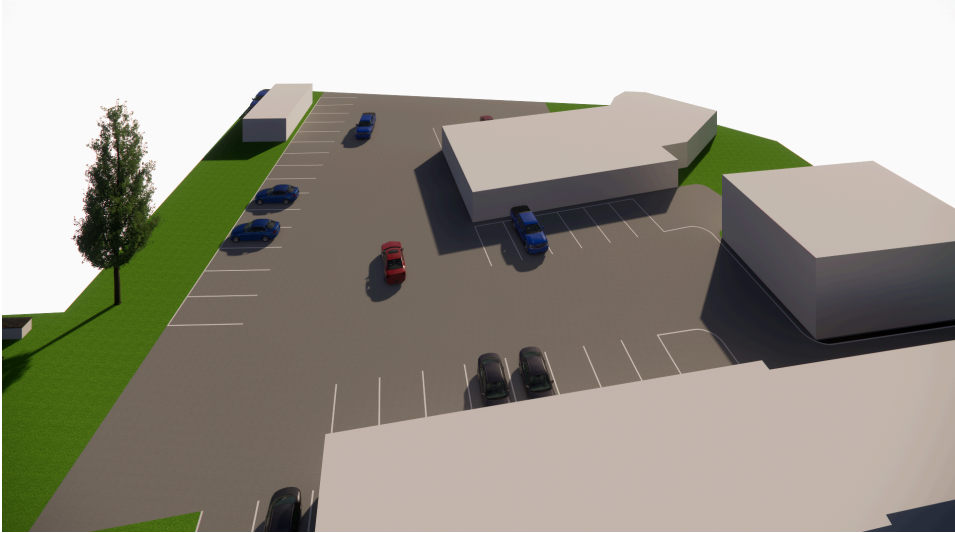


Exhibit C: 3D Renderings of Parking Area and Greenspace



Parking will remain pre-existing gravel.

Exhibit D: National Grid Survey for Utility Pole

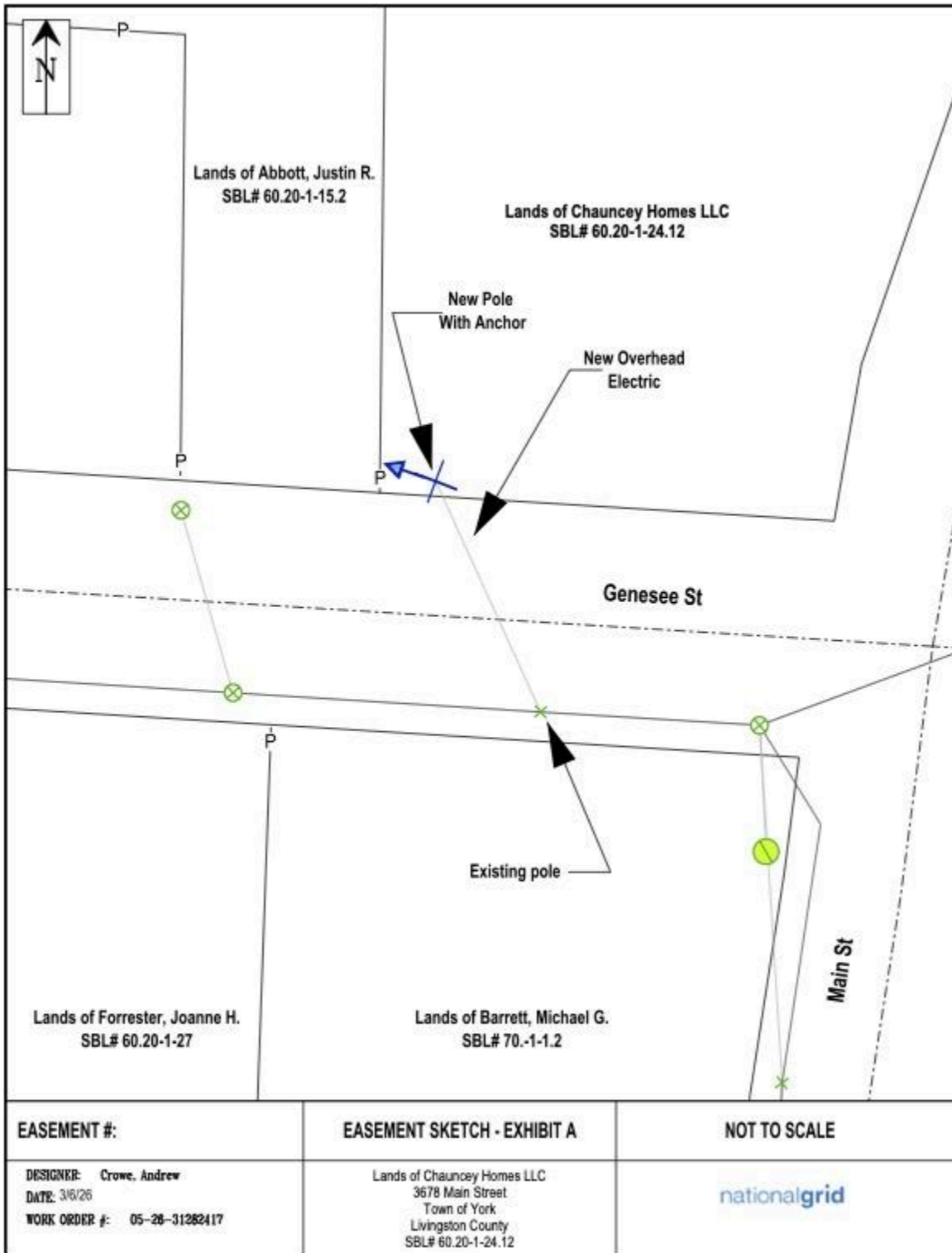
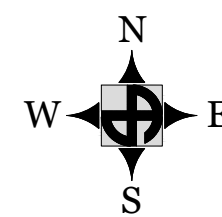


Exhibit E: Aerial Drone Photos of Site



Exhibit 4: Stamped Site Plan



NOTE:
The Exterior Walls Of The Existing Adjacent Building Has Been Constructed With A Stucco Finish, Which Is A Non-Combustible Material, Offering Fire Resistance Characteristics To The Building.

NOTE:
Aluminum Eaves Will Be Added To The Stucco Existing Adjacent Building For Additional Fire Resistance

Current Zoning - Hamlet Commercial District	
Minimum Yard Requirements	
Yard	Structure
Front	Determined Through Site Plan Review
Side	Determined Through Site Plan Review
Rear	Determined Through Site Plan Review

Snow Removal Area	
Min. Req. = 10% of Gravel Area	
Total Parking Area	21,305 S.F.
Total Snow Removal Area	3,322 S.F.
% of Snow Removal	15.6%

Pedestrian walks have been provided from parking areas to the building to ensure pedestrian safety

Existing vegetation will be retained to the greatest extent practicable; the site's expanded green space will function as both recreational area and natural buffering; additional landscaping can be incorporated if requested

All site lighting fixtures are provided with cut-off shields to eliminate light spread off property and is dark sky compliant

Solid waste will be stored in designated container locations (dumpster) on-site and serviced through standard residential pickup. Placement will be coordinated to ensure accessibility while minimizing visibility and impact to residents and surrounding properties.

Functional signage only: "No Parking," "No Entry/Exit," fire lane identification; all signage will be limited to functional safety and directional signage in compliance with local regulations.

The project will connect to existing sewer infrastructure serving the property; no unusual demand beyond residential use

Connection to existing 4 in. building drain

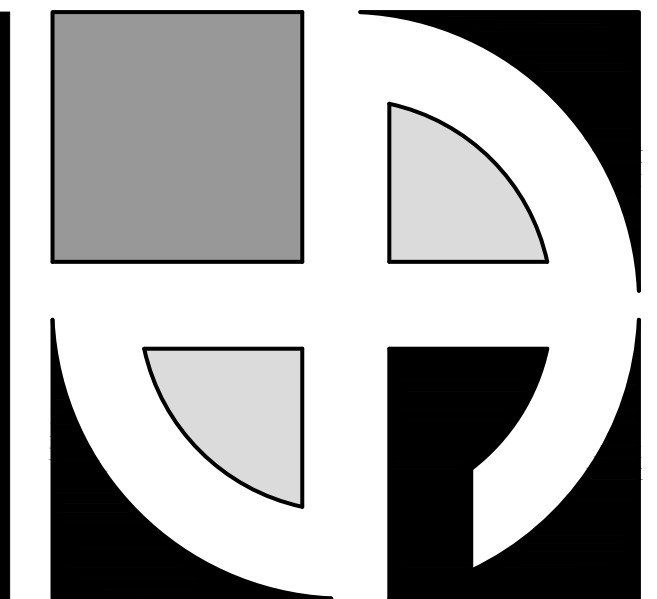
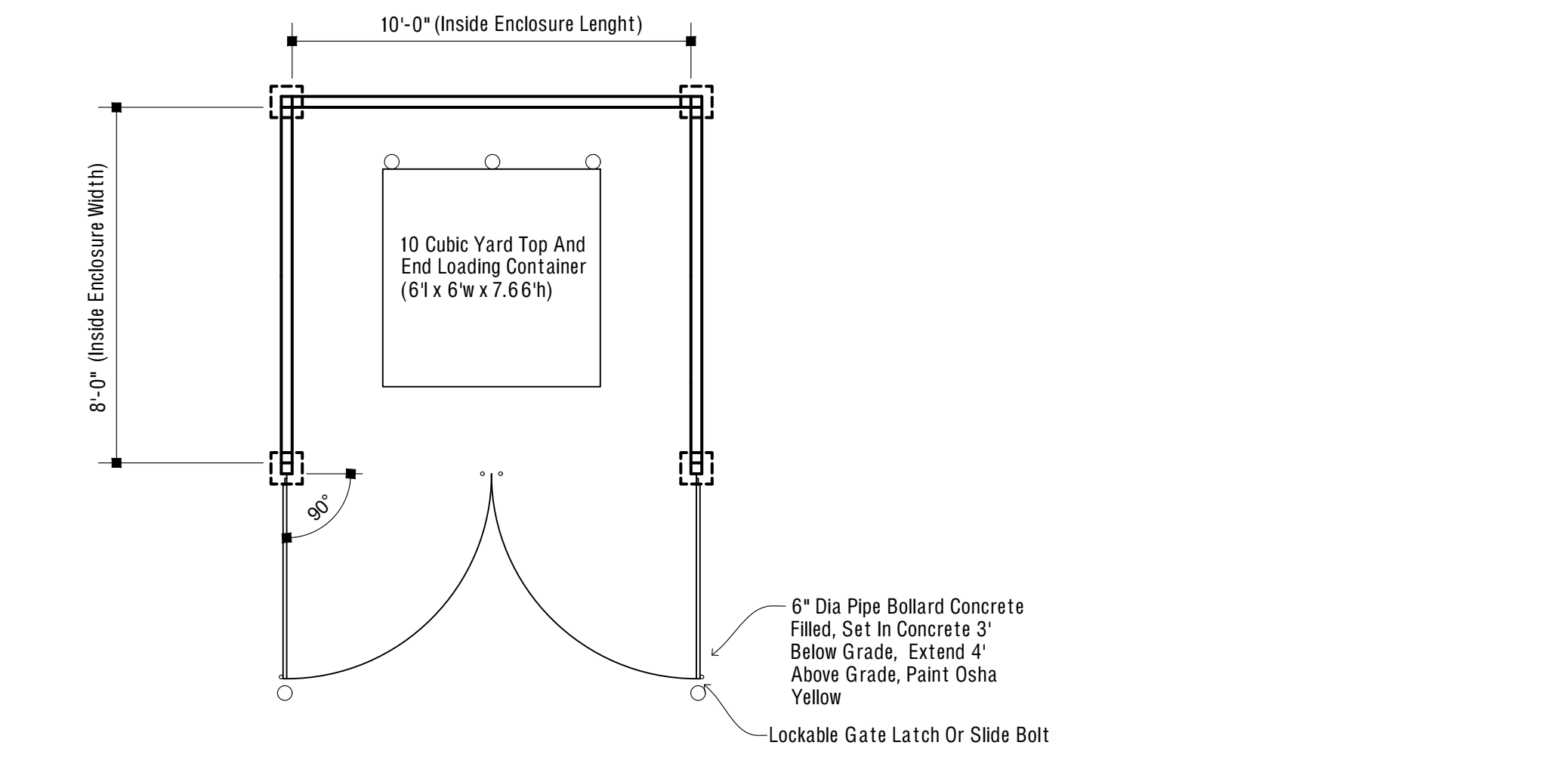
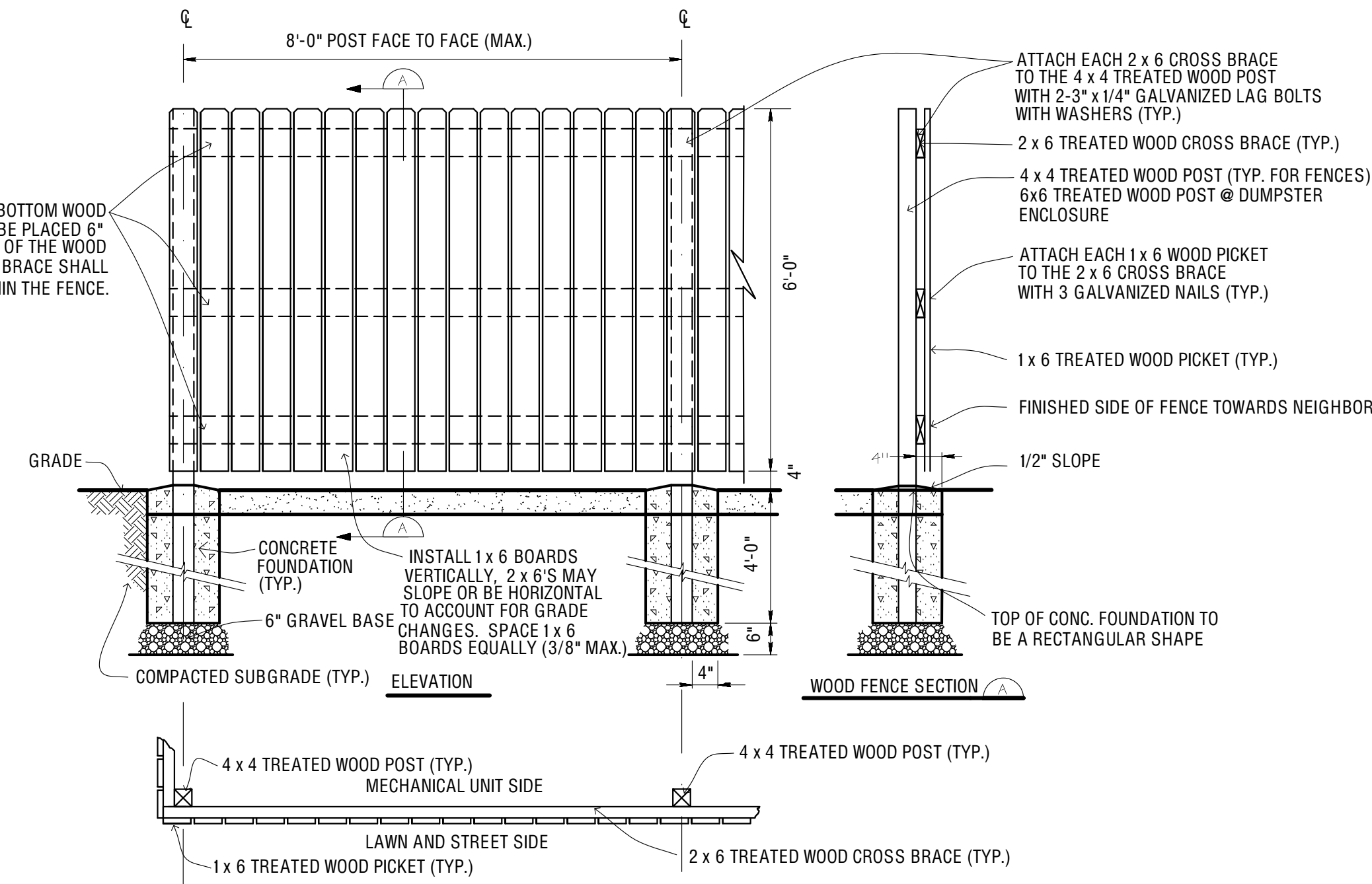
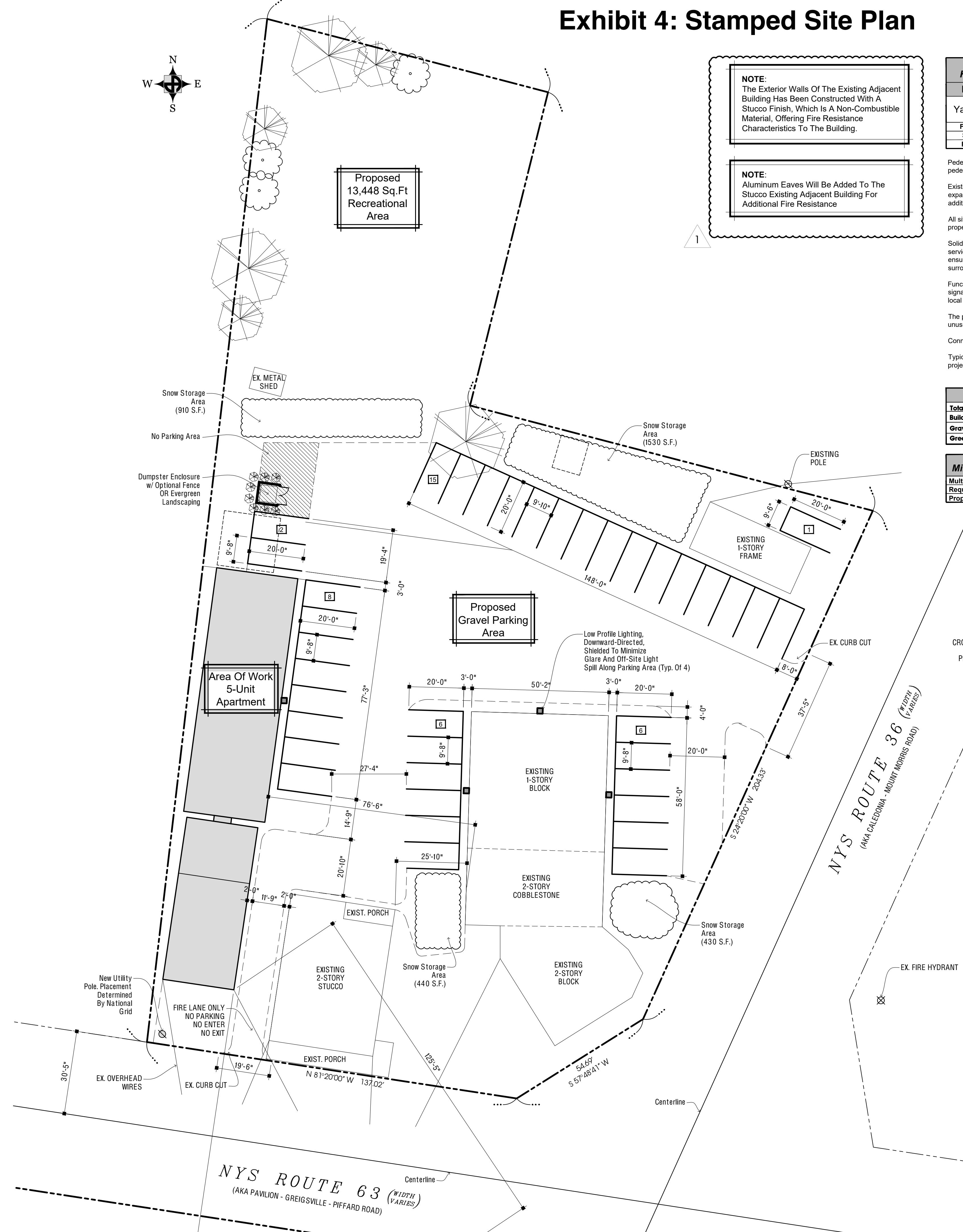
Typical utility demand consistent with comparable small multi-family residential project

Land Use	
Total Area	61,811 s.f. 100.0%
Building	12,433 s.f. 20.11%
Gravel Areas	21,305 s.f. 34.47%
Green Space	19,889 s.f. 32.18%

Minimum Parking Requirement	
Multi-family 2-3 Bedroom	2 Per Dwelling Unit
Required Parking Spaces	29 Spaces
Proposed Parking Spaces	38 Spaces

SITE NOTES

- In areas where the contractor is excavating near any utility poles and traffic signal poles, the contractor shall brace and/or hold the pole in place until excavated area is backfilled and compacted. This work is to be performed as approved by the appropriate utility company.
- The contractor is responsible for the removal and disposal of any material generated during demolition or construction. The owner reserves, in so desired, the salvage rights to all removed material and equipment.
- All unsuitable material encountered during excavation shall be removed to a depth and extent established by the resident engineer. Backfill for the excavation shall be with appropriate material and compaction measures.
- All disturbed lawn areas shall be restored equal or better than existing condition. All restoration within the State ROW shall be per the 610 items provided, not just at the sidewalk connection.
- After completion of utility work the contractor's surveyor shall check all horizontal and vertical control points prior to construction. Any discrepancies shall be brought to the attention of the engineer.
- The contractor shall keep his operations within the designated easements or R.O.W. limits.
- Conditions of construction along state, county, and city highways shall conform to the specifications listed and permits issued by the appropriate agencies. The contractor is responsible for obtaining the necessary permits.
- The contractor shall take all necessary precautions not to disturb and/or damage property corners (iron pins, hubs, etc.) Any disturbed or damaged property corners shall be replaced by the contractor's licensed land surveyor at the contractor's expense.
- All existing underground utilities such as electrical, gas mains, and telephone lines shall be staked out by the respective utility company prior to construction. The contractor shall notify all necessary utility companies for stakeout. Existing utility locations shown on the plans shall be considered approximate and shall be confirmed by the contractor. The contractor is required to contact "Dig Safety New York" (1-800-952-7962) a minimum of 72 hours prior to commencing work.
- Locations of overhead utility line shown on drawings were obtained from aerial survey and should be considered approximate. All storm crossings are not shown on contract drawings.
- Locations of existing storm shown on drawings are approximate. All damage to storm sewer utilities shall be reported to the resident engineer at once. The contractor shall protect existing sewers. If existing sewers are damaged during construction, the contractor shall repair these at no expense to the owner.
- Safe and continuous through traffic, ingress and egress for adjacent owner driveways, service roads, public streets, and sidewalks shall be maintained throughout the period of construction.
- The contractor is responsible for the proper disposal of all removed catch basins, manholes, pavement, soil, curbing, sidewalks, sewers, and other disturbed debris.
- Mailboxes, guardrails, driveway culverts, fences, etc that interfere with construction shall be removed, reset, and/or replaced in-kind to the satisfaction of the engineer at no additional cost.



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PHONE: (716) 651-0381
FAX: (716) 651-0382

25-306

Project For:
Scott Chauncey
3675 Main St.
Piffard, NY 14533

No.	Description	Date	By
1	AS PER CLIENT	6/3/2026	YH

DATE: 05-14-2026
DRAWN BY: Y. Hiciano
CHECKED BY: M. Dean
SCALE: As Noted

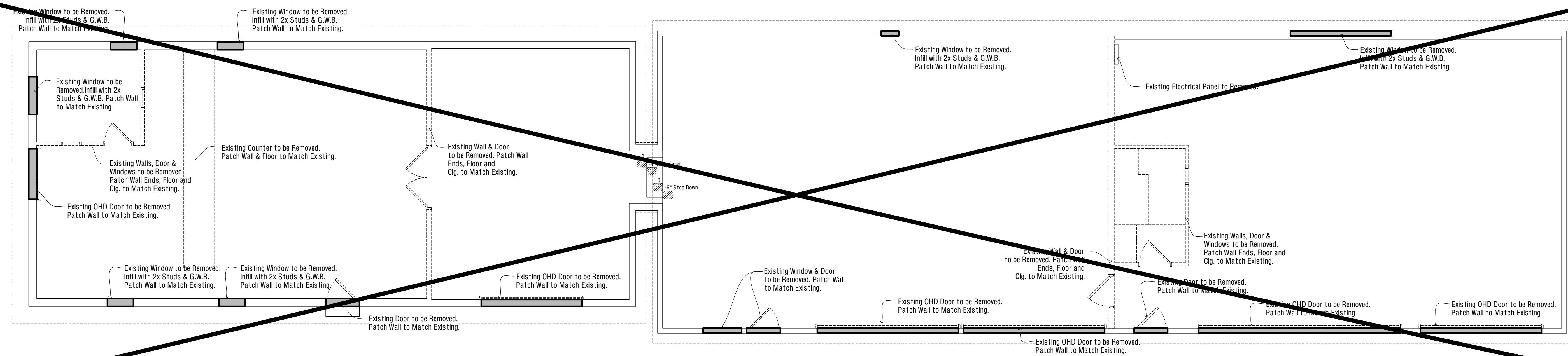
SITE PLAN

C1

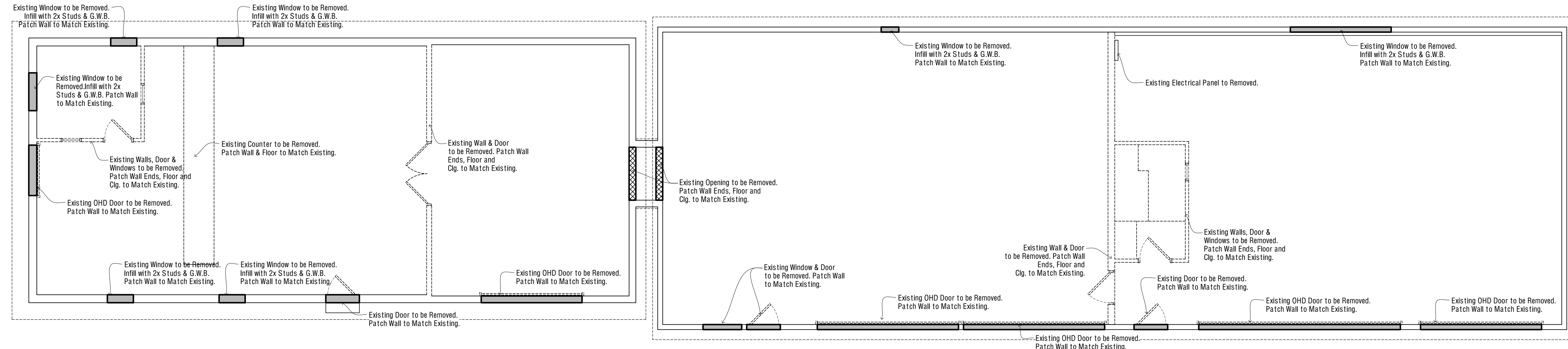
1 SITE PLAN
1"=20'-0"

2 DUMPSTER ENCLOSURE DETAILS (OPTIONAL)
1/4"=1'-0"

Exhibit 5: Stamped Architectural Drawings



1 DEMO FLOOR PLAN
3/16"=1'-0"



2 DEMO FLOOR PLAN ALTERNATE
3/16"=1'-0"

GENERAL NOTES

- These drawings are the property of the architect and may be reproduced only with the written permission of the architect. Authorized reproductions must bear the name of the architect. These drawings are fully protected by Federal and state copyright laws.
- Do not scale drawings. Use given dimensions. Check details for appropriate location of all items not dimensioned on the drawings. Doors and casework openings without dimensions are to be 4" from the face of the adjacent wall or centered between the walls. Verify field dimensions prior to commencement of each portion of the work.
- The contractor shall verify all dimensions, conditions and structural members prior to construction and inform the architect of any discrepancies in the documents. The contractor shall coordinate all framing with electrical, plumbing and mechanical work. The general contractor is responsible for the proper operation of all systems and the coordination of all systems and trades.
- Failure to show or mention minor details shall not be a warrant for omission of necessary appurtenances for the normal, usual and proper completion of the work. All dimensions, notes, finishes and fixtures shown on these floor plans, sections or details, shall apply to similar, symmetrical or opposite hand plans, sections or details. Kitchen cabinet layouts are representative only and shall be subject to change based on the final kitchen design.
- The contractor is responsible for the means and methods of construction and all job related activities and safety standards, including but not limited to OSHA. The contractor is responsible for the strength and stability of the structure during construction and shall provide temporary shoring, bracing and other elements required to maintain stability until the structure is completed.
- It is the contractor's responsibility to be familiar with the work required in the construction documents and the requirements for executing it properly and in conformance with applicable state and local codes.
- In the case of any discrepancies within the contract drawings, field conditions or reference standards, the architect shall determine which shall govern. Any discrepancies shall be brought to the attention of the architect prior to commencement of work.
- All structural systems such as engineered floor joists or plate connected wood trusses which are components to be field erected shall be handled, stored and erected in accordance with the manufacturer's instructions.
- All dimensions on floor plans are to face of framing member or face of masonry or concrete walls. All dimensioned walls are drawn per actual 3'-11 1/2" x 5'-11 1/2" stud width. Exterior walls show siding but are dimensional to the face of framing.
- All rough openings are to be confirmed by appropriate vendors.
- All required tempered glass is to be included and is the responsibility of the door and window vendor.
- Typical footing design satisfying minimum loading conditions for this project are based on 1500 PSF soil bearing capacity unless otherwise noted or demonstrated in a soil boring test.
- Habitable spaces not provided with an operable exterior opening of at least 4% of the floor area shall be provided with a mechanical ventilation system that will provide a minimum of 0.35 air changes per hour.
- All stud walls at tub and shower enclosures shall have fire blocking between the studs. All glazing in doors or enclosures in bathrooms shall be safety glazing. Glazing in any portion of a building wall enclosing a shower or bathtub where the bottom exposed edge is less than 60" above the standing surface and drain outlet shall be safety glazing. Cover walls and soffits of usable space under the stair with minimum 2" Gyp. Brd.
- Guardrails shall be provided at all walking surfaces 30" or more above grade or the adjacent surface. Guardrails shall be a minimum 36" high.
- Each bedroom, and outside each sleeping room, and each story shall be provided a smoke detector. The smoke detector power source shall be installed in accordance with NFPA 72 and IRO 313. All alarm devices shall be interconnected.
- Dryer vents and bathroom fans shall be vented directly to the exterior. Bathroom fans shall be 50 cfm minimum and range fans shall be 100 cfm minimum.
- Provide attic ventilation as indicated on the drawings. The net free area of the vent shall be not less than 1/50th of the area of the attic space except that area may be 1/300th of the area of the attic provided at least 50% of the required ventilation, is provided with ventilators located in the upper portion of the space to be vented with the balance of the required ventilation provided by eave or cornice vents.
- Factory-built fireplaces, vents and chimneys shall be UL listed and installed per the manufacturer's instructions. Non-combustible materials shall be provided on adjacent surfaces per the manufacturer's specifications.
- All HVAC and electrical work shall be installed in accordance with current building and energy code requirements as well as the national electrical code. The furnace shall have a 90%+ rating and have a 7-day programmable thermostat. The domestic water heater shall meet ASHRA 90-75 standard for gas fired units.

Wood Framing: All structural lumber shall be No. 2 Douglas Fir-larch with a minimum extreme fiber bending stress (Fb) of 1450 lb./sq. in., and a minimum modulus of elasticity E of 1,600,000 PSI. All sawn lumber and pre-manufactured wood products shall be identified by a Grade Mark or a Certificate of Inspection issued by the certifying agency.

Wood headers shall be sized as shown on the Header table unless noted otherwise on the plans. Interior non-load bearing headers may be (2) 2x6.

Install double structural members under all partitions and framed openings in walls, roofs and floors unless noted otherwise on plans.

Provide solid blocking under all beams. The solid blocking shall run continuous from the foundation to the underside of the beam. Solid wood blocking shall be of the same width as the beam being supported.

Wood ceiling joists shall be sized in accordance with the ceiling joist span table. All ceiling joist shall span in the same direction as the roof rafters and shall be secured to the rafter per the heel joint connection table.

Wall Framing: Unless otherwise noted, all interior walls shall be 2x4 @ 16"OC and all exterior walls shall be 2x4 or 2x6 @ 16"OC as indicated on drawings. Provide (2) bundled studs min at wall ends and each side of all openings. All solid sawn lumber headers shall be supported by a minimum of (1) trim and (1) king stud and all glulam or engineered wood headers by (2) trim and (2) king studs. All framed walls, all solid sawn lumber beams shall be supported on a minimum of (2) bundled 2x studs and all glulam or engineered wood beams on a minimum of (3) bundled 2x studs. Slitch-nail bundled studs with (2) 10D @ 12"OC. Provide solid blocking thru floors to supports below for bearing walls and posts. Unless noted otherwise, provide gypsum sheathing on interior surfaces and plywood sheathing on exterior surfaces.

Roof/Floor Framing: Unless otherwise noted, provide double joists under all parallel bearing partitions and solid blocking at all bearing points. Provide double joists around all roof/floor openings. Unless noted otherwise, multi-joist/rafters shall be slitch-nailed together with (2) 10D @ 12"OC. Provide roof sheathing edge clips centered between framing at unblocked plywood edges. All floor sheathing shall have tongue and groove joints or be supported by solid blocking. Allow 1/8" spacing at all panel edges and ends of roof/floor sheathing. Roof/floor sheathing shall be laid face grain perpendicular to framing members.

Wood framing material is required to be treated wood under certain conditions, including sleepers, joists, blocking and plywood subflooring shall be pressure preservative treated and dried after treatment in accordance with AWPA U11 and shall bear the label of an accredited agency.

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

MAXIMUM HEADER SPAN (Feet)	ULTIMATE DESIGN WIND SPEED AND EXPOSURE CATEGORY (Per Table R602.7.5)	
	<140 mph, Exposure B	<115 mph, Exposure B
4'-0"	1	1
6'-0"	2	1
8'-0"	2	1
10'-0"	3	2
12'-0"	3	2
14'-0"	3	2
16'-0"	4	2
18'-0"	4	2

Structural Design Criteria

Rooms Other Than Sleeping Rooms	40 PSF
Sleeping Rooms	30 PSF
Stairs	40 PSF
Balconies And Decks	40 PSF
Uninhabited Attic Space	30 PSF
Ground Snow Load	PG = 50 PSF
Flat Roof Snow Load	PF = 50 PSF
Snow Exposure Factor	CE = 1.0
Snow Importance Factor	S = 1.0
Thermal Factor	CT = 1.0
Basic Wind Speed	V = 115 MPH
Wind Importance Factor	W = 1.0
Occupancy Category	II
Exposure Category	B
Internal Pressure Coefficient	GCPI = 0.18
Component And Cladding Design Pressure	12.22 PSF (14.86 End Zones)
Seismic Importance Factor	IE = 1.0
Occupancy Category	II
Site Class	D
Seismic Design Category	B
Basic Seismic Force Resisting System	Bearing Wall Systems
Light Framed Walls With Wood Structural Panels Rated For	Light Framed Walls With Wood Structural Panels Rated For
Shear Resistance	CS = 0.116
Design Base Shear	V = 5.65 (E/W)
(Wind And Seismic Governed)	V = 7.875 (N/S)
Analysis Procedure	Equivalent
Lateral Force Procedure	Per ASCE 7 Sec. 12.8

Heel Joint Connections
2020 NYS Residential Code

Rafter Slope	Rafter Spacing	Roof Span			
		12	20	28	36
3:12	16"	6	11	15	20
4:12	16"	5	8	12	15
5:12	16"	4	7	9	12
7:12	16"	3	5	7	9
9:12	16"	3	4	5	7
12:12	16"	3	3	4	5

Ceiling Joist Span Table
2020 NYS Residential Code

Ceiling Joist Spacing	Species	Grade	Dead Load = 20 PSF			
			2x4	2x6	2x8	2x10
12" o.c.	Douglas Fir-larch	#2	12'-5"	19'-6"	25'-8"	26'-0"
16" o.c.	Douglas Fir-larch	#2	11'-3"	17'-8"	23'-4"	26'-0"

Ceiling Joist Spacing	Species	Grade	Dead Load = 20 PSF			
			2x4	2x6	2x8	2x10
12" o.c.	Douglas Fir-larch	#2	9'-10"	15'-0"	19'-1"	23'-3"
16" o.c.	Douglas Fir-larch	#2	8'-11"	13'-0"	16'-6"	20'-2"

Header Table
2020 NYS Residential Code

Wall	Maximum Header Span			
	(2)2x6	(2)2x8	(2)2x10	(2)2x12
2x4 Wall	4'-1"	5'-2"	6'-4"	7'-4"
One Story	3'-4"	4'-2"	5'-0"	6'-0"

Wall	Maximum Header Span			
	(3)2x6	(3)2x8	(3)2x10	(3)2x12
2x6 Wall	3'-4"	5'-8"	7'-0"	8'-0"
Two Story	NA	5'-3"	6'-5"	7'-5"

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STATE OF NEW YORK

BBB ACCREDITED BUSINESS

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FAX: (716) 651-0382

25-306

Project For:
Scott Chauncey
3678 Main St.
Piffard, NY 14533

No.	Description	Date	By
1	AS PER CLIENT	6/3/2026	YH

DATE: 10-29-2025

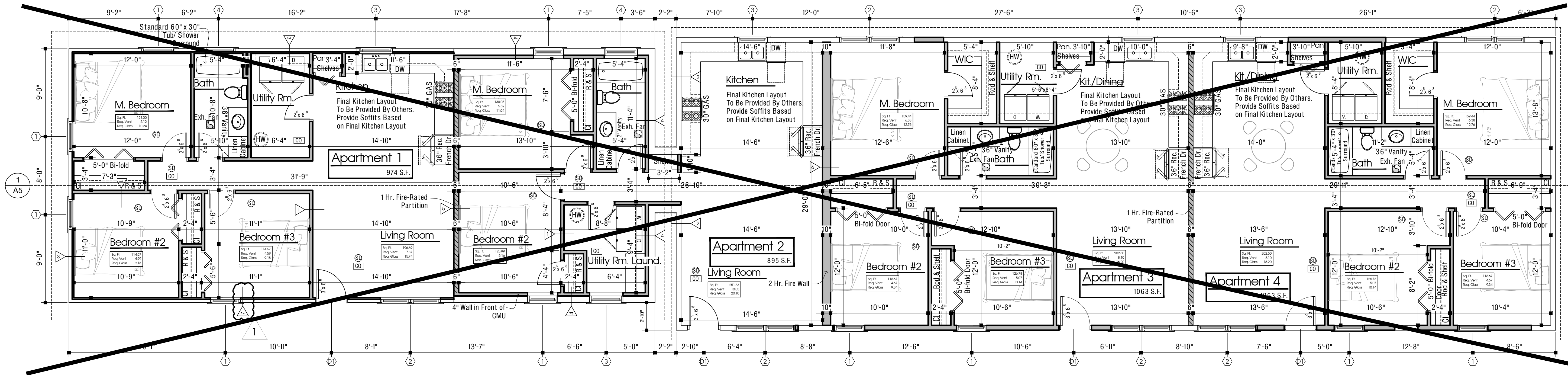
DRAWN BY: E. Lenney
CHECKED BY: M. Dean

SCALE: 3/16"=1'-0"

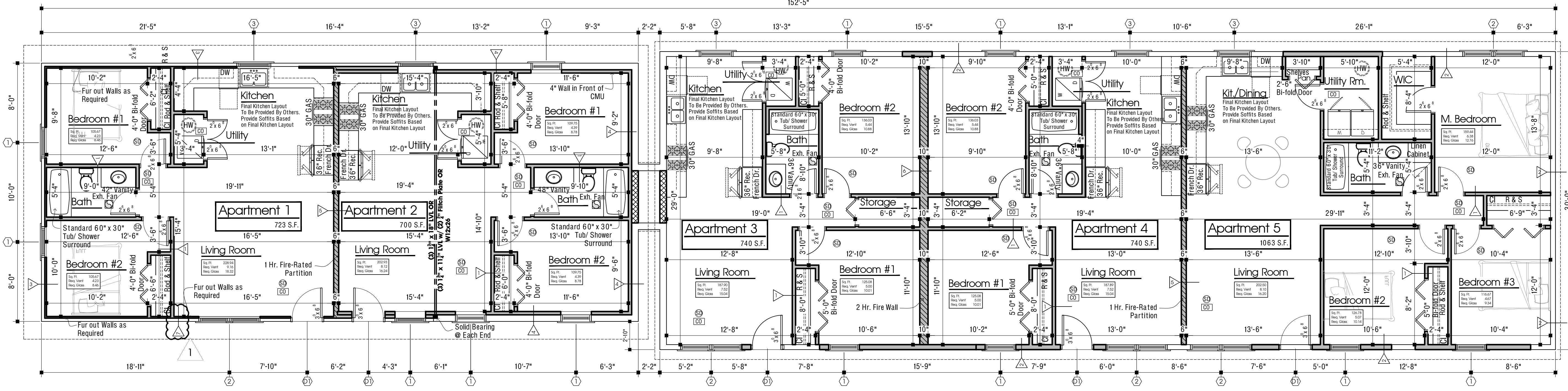
DEMO PLAN & GENERAL NOTES

A1

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1 | FLOOR PLAN
3/16"=1'-0"



2 | FLOOR PLAN
3/16"=1'-0" **ALTERNATE**

Existing Building Total Square Footage 4281 S.F.

Window Schedule		Windows chosen to be Pella Lifestyle Series Or Equal UNO		Grille - Traditional Glass - Adv. Low-E Ins. Glass w/ Argon					
Mark	Quant	Unit Description	Rough Opening	S.F. Vent	S.F. Glass	Clear Opng.	Oper.	Finish	Remarks
1	10	3757	3'-1 3/4" x 4'-9 3/4"	5.90	11.30	33-13/16" x 25-1/4"	DH.	Clad	Egress.
2	6	3757-2	6'-2 3/4" x 4'-9 3/4"	11.80	22.60	(2) 33-13/16" x 25-1/4"	DH.	Clad	Egress, Mull Units Together, Verify R.O. w/ Window Manuf.
3	5	4141	3'-5 3/4" x 3'-5 3/4"	4.50	7.90	37-13/16" x 17-1/4"	DH.	Clad	-----
4	2	4125	3'-5 3/4" x 2'-1 3/4"	1.90	2.50	-----	AWN.	Clad	-----

Door Schedule		Windows chosen to be Pella Lifestyle Series Or Equal UNO		Grille - Traditional Glass - Adv. Low-E Ins. Glass w/ Argon					
Mark	Quant	Unit Description	Rough Opening	S.F. Vent	S.F. Glass	Clear Opng.	Oper.	Finish	Remarks
D1	4	36" Entry Door	3'-2 1/4" x 6'-10 1/4"	19.20	-----	35" x 79"	Swing	Paint	Primed Interior, Door To Be Selected By Owner

Note: Windows Indicated Are Pella Proline Series. All Rough Openings, Light & Vent Egress Requirements Shall Be Verified By Window Supplier Should Substitute Windows Be Selected

Window Schedule		Windows chosen to be Pella Lifestyle Series Or Equal UNO		Grille - Traditional Glass - Adv. Low-E Ins. Glass w/ Argon					
Mark	Quant	Unit Description	Rough Opening	S.F. Vent	S.F. Glass	Clear Opng.	Oper.	Finish	Remarks
1	12	3757	3'-1 3/4" x 4'-9 3/4"	5.90	11.30	33-13/16" x 25-1/4"	DH.	Clad	Egress.
2	5	3757-2	6'-2 3/4" x 4'-9 3/4"	11.80	22.60	(2) 33-13/16" x 25-1/4"	DH.	Clad	Egress, Mull Units Together, Verify R.O. w/ Window Manuf.
3	4	4141	3'-5 3/4" x 3'-5 3/4"	4.50	7.90	37-13/16" x 17-1/4"	DH.	Clad	-----

Door Schedule		Windows chosen to be Pella Lifestyle Series Or Equal UNO		Grille - Traditional Glass - Adv. Low-E Ins. Glass w/ Argon					
Mark	Quant	Unit Description	Rough Opening	S.F. Vent	S.F. Glass	Clear Opng.	Oper.	Finish	Remarks
D1	4	36" Entry Door	3'-2 1/4" x 6'-10 1/4"	19.20	-----	35" x 79"	Swing	Paint	Primed Interior, Door To Be Selected By Owner

Note: Windows Indicated Are Pella Proline Series. All Rough Openings, Light & Vent Egress Requirements Shall Be Verified By Window Supplier Should Substitute Windows Be Selected

ALTERNATE

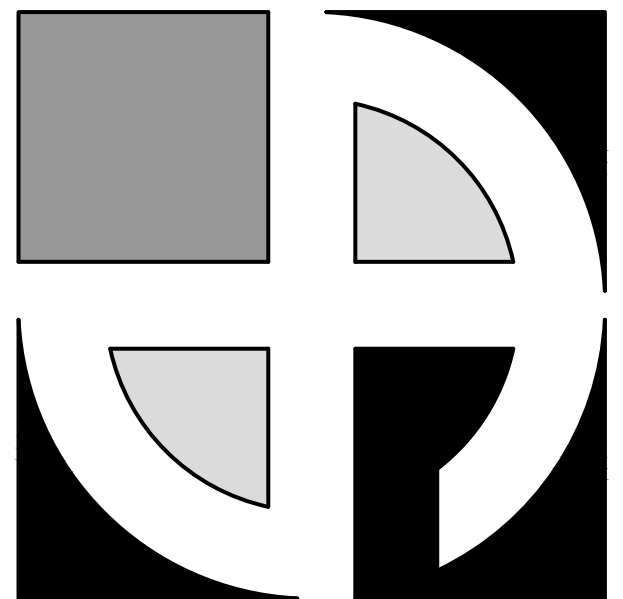
FLOOR PLAN LEGEND

- Existing Wall to be Demolished
- Existing Wall to Remain
- New Wall
- Smoke Detector
- Heat Detector
- Demolished Door
- Existing Door to Remain
- New Door

NOTE:
Additional Hardwired Smoke Detectors and Carbon Monoxide Detectors Shall Be Installed In Existing Dwelling As Req'd by Section R314 Of The 2020 NYS Residential Building Code. All Detectors Must Be On Each Floor, Including The Basement and Shall Be Interconnected.

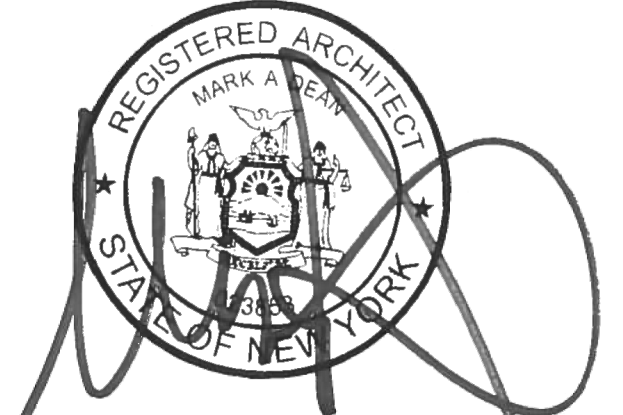
NOTE:
Contractor Shall Confirm Location Of Any Bearing Walls Prior To Demolition & Notify Architect Of Any Bearing Walls Not Indicated On The Demolition Plan. All Bearing Locations Shall Be Temporarily Supported During Demolition & Construction Until Permanent Structure Is In Place

NOTE:
Adjust Top Of Wall Elevation To Align New Finish Floor With Existing Elevation



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FAX: (716) 651-0382

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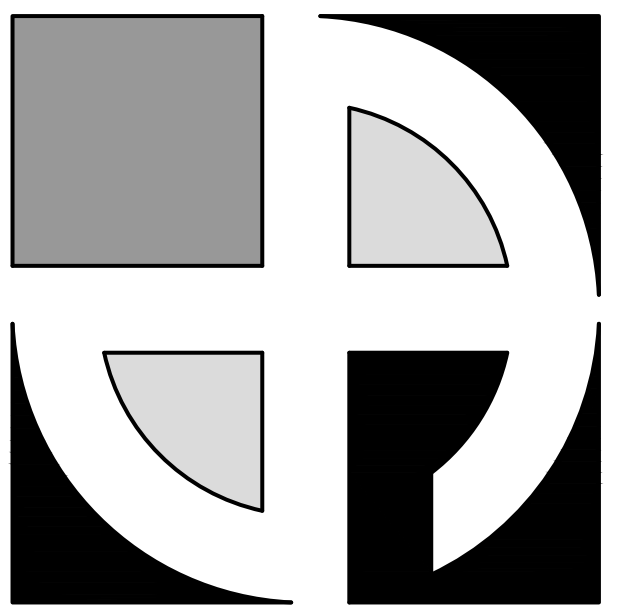
Project For:
Scott Chauncey
3675 Main St.
Piffard, NY 14533

No.	Description	Date	By
1	AS PER CLIENT	6/3/2026	YH

DATE:
10-29-2025
DRAWN BY:
E. Lenney
CHECKED BY:
M. Dean
SCALE:
As Noted

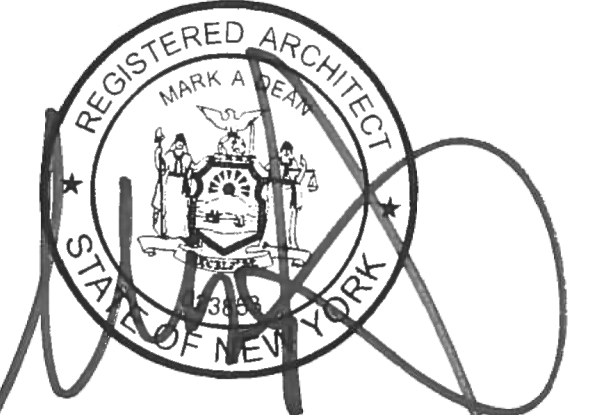
FLOOR PLANS

A2



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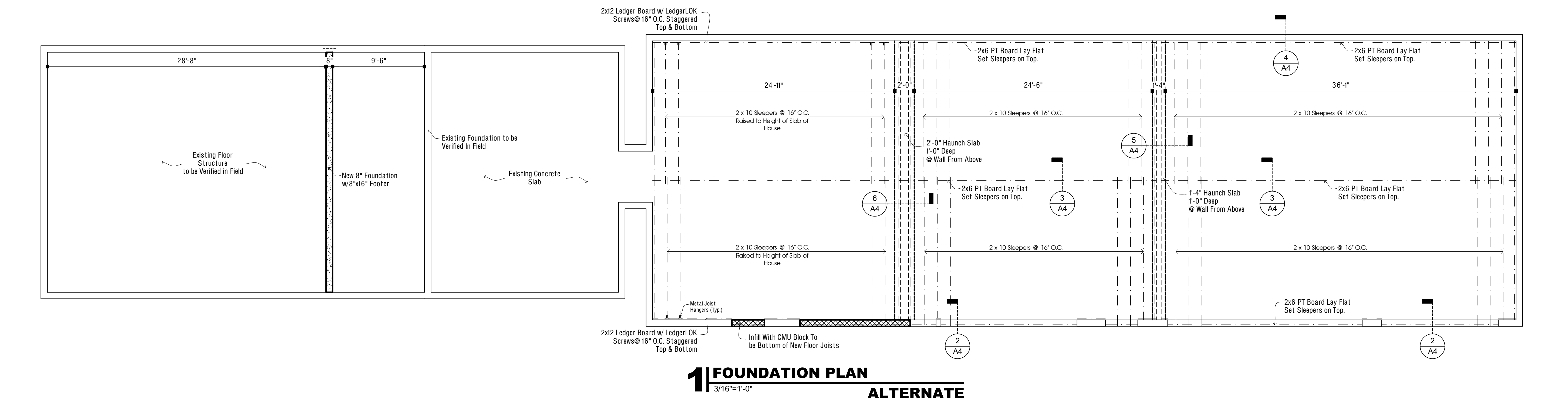
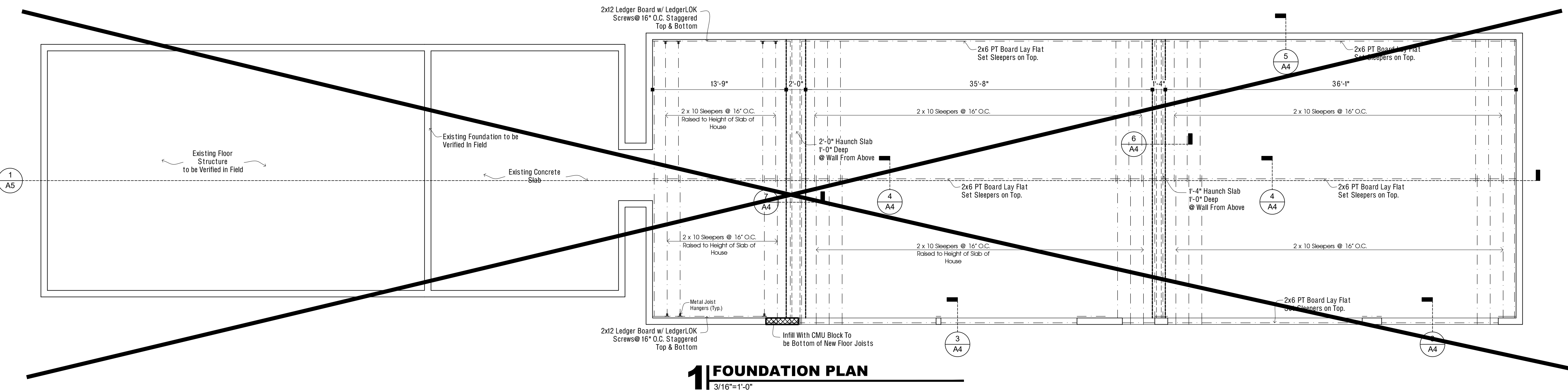
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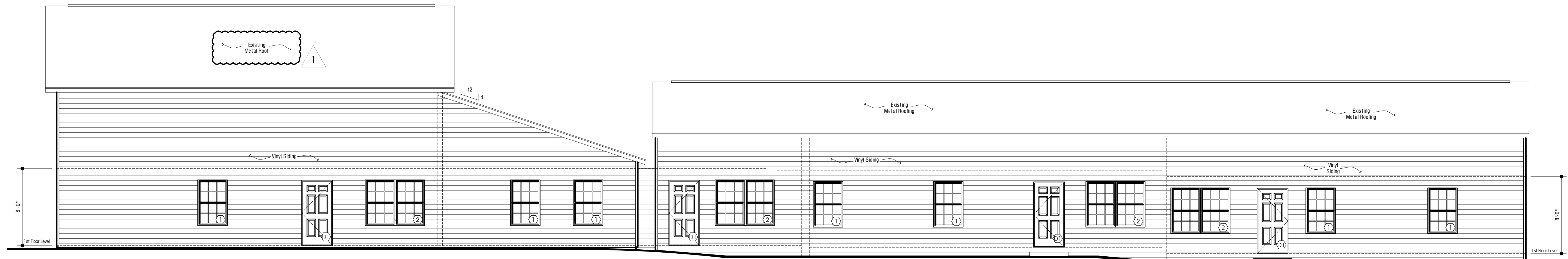
Project For:
Scott Chauncey
3678 Main St.
Piffard, NY 14533



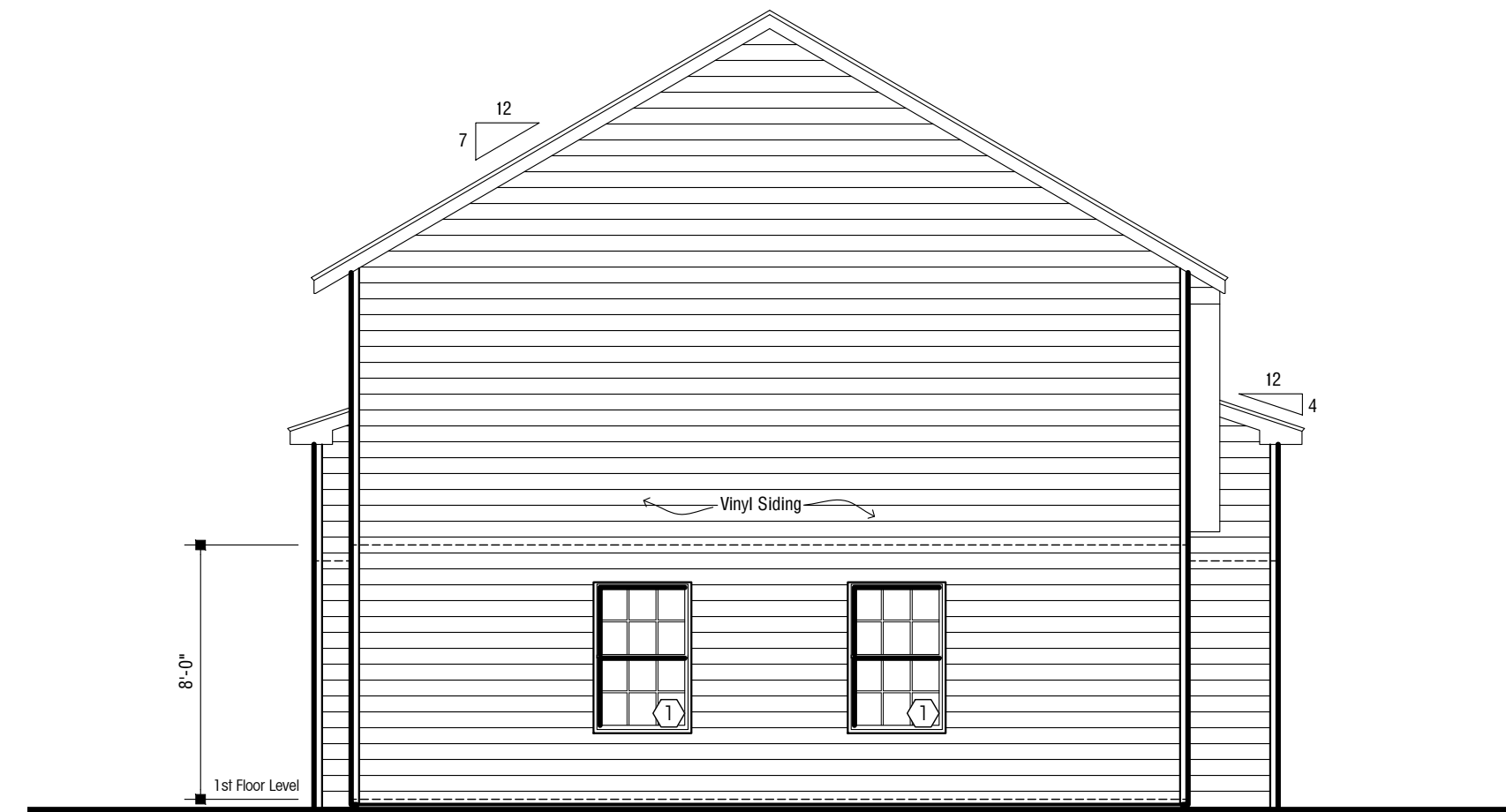
No.	Description	Date	By
1	AS PER CLIENT	6/3/2026	YH

DATE:
10-29-2025
DRAWN BY:
E. Lenney
CHECKED BY:
M. Dean
SCALE:
As Noted

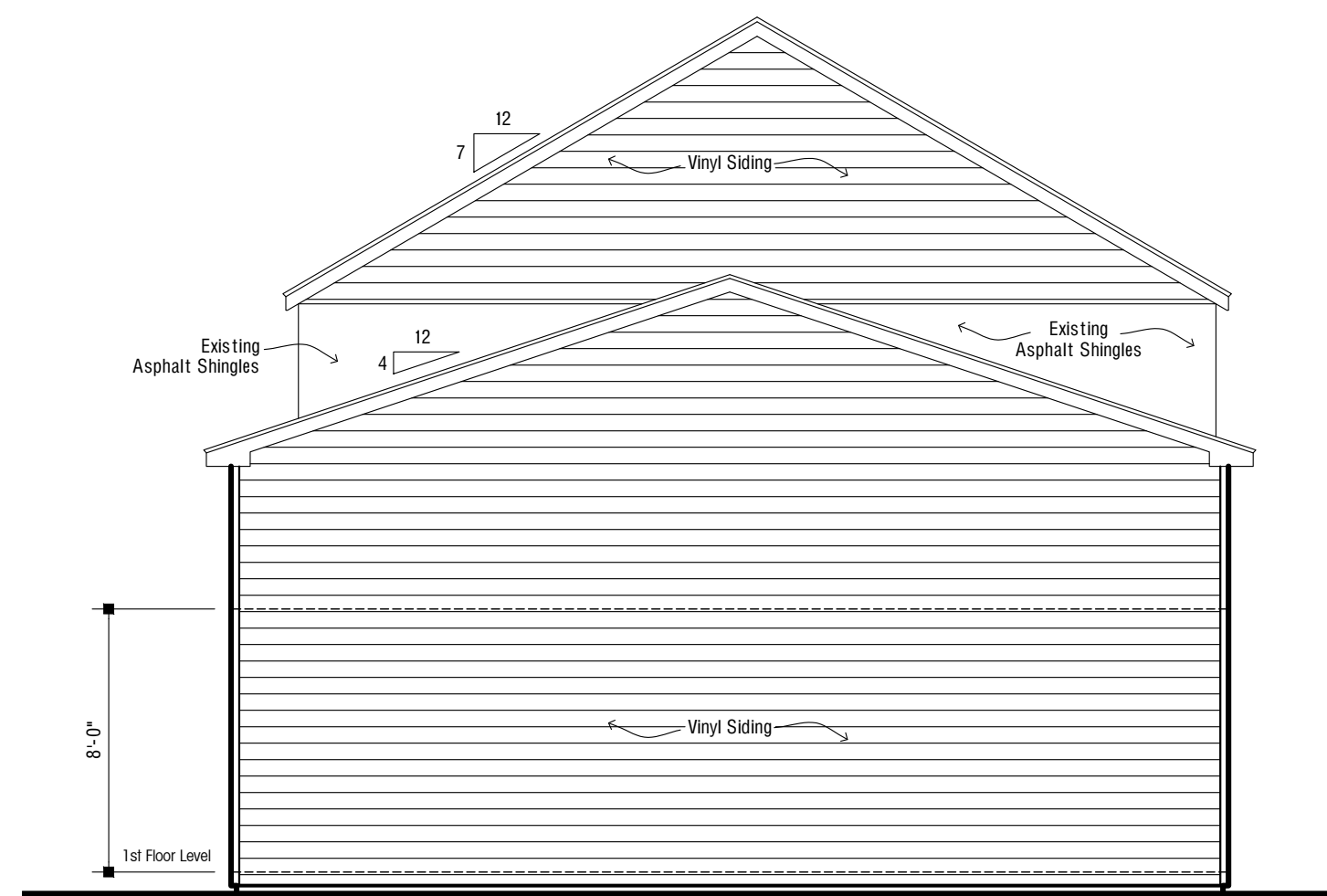
FOUNDATION
PLANS
A3



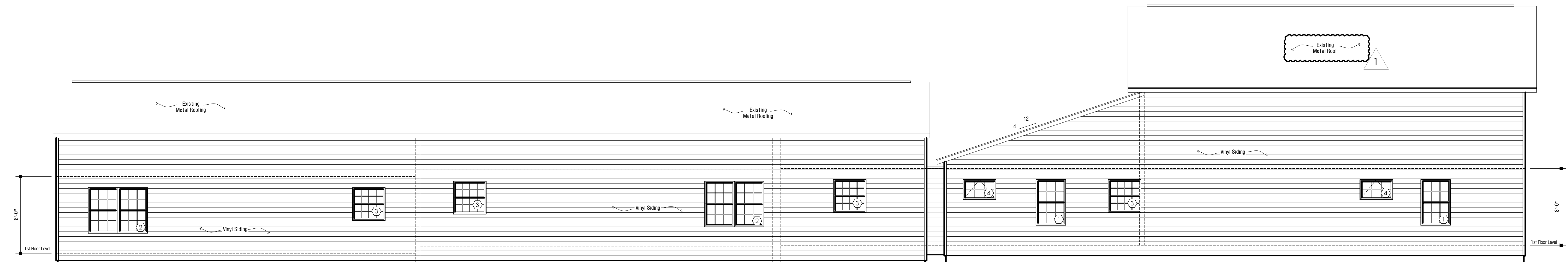
1 FRONT ELEVATION
3/16"=1'-0"



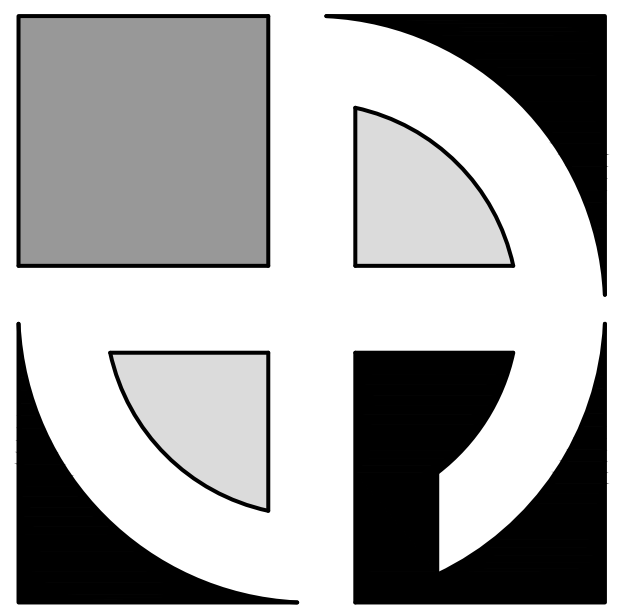
2 LEFT ELEVATION
3/16"=1'-0"



3 RIGHT ELEVATION
3/16"=1'-0"

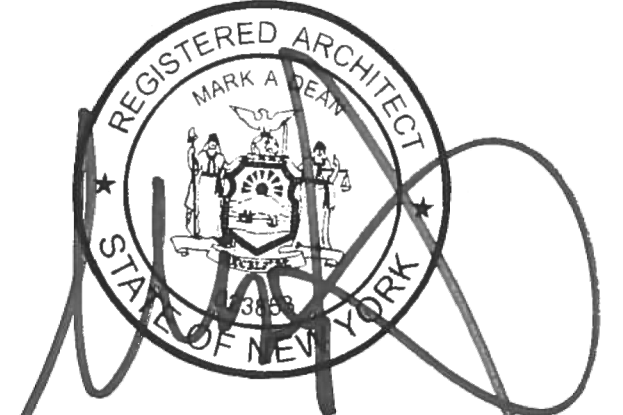


4 REAR ELEVATION
3/16"=1'-0"



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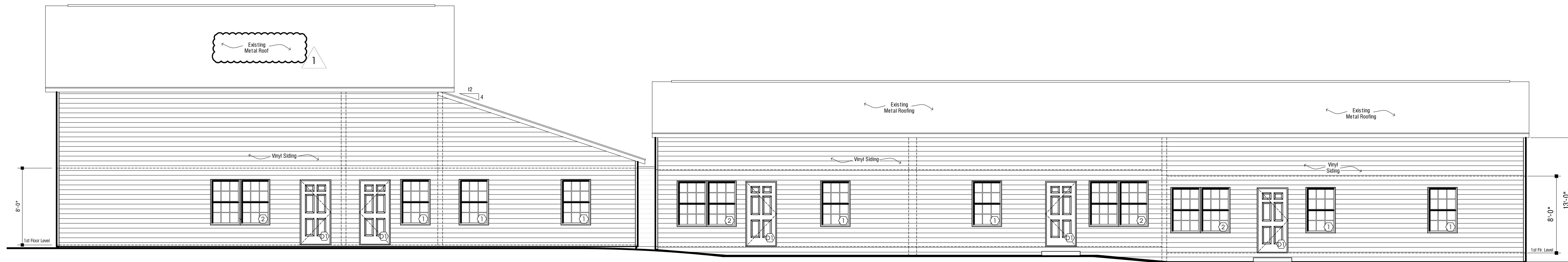
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DATE:
10-29-2025
DRAWN BY:
E. Lenney
CHECKED BY:
M. Dean
SCALE:
3/16"= 1'-0"

ELEVATIONS

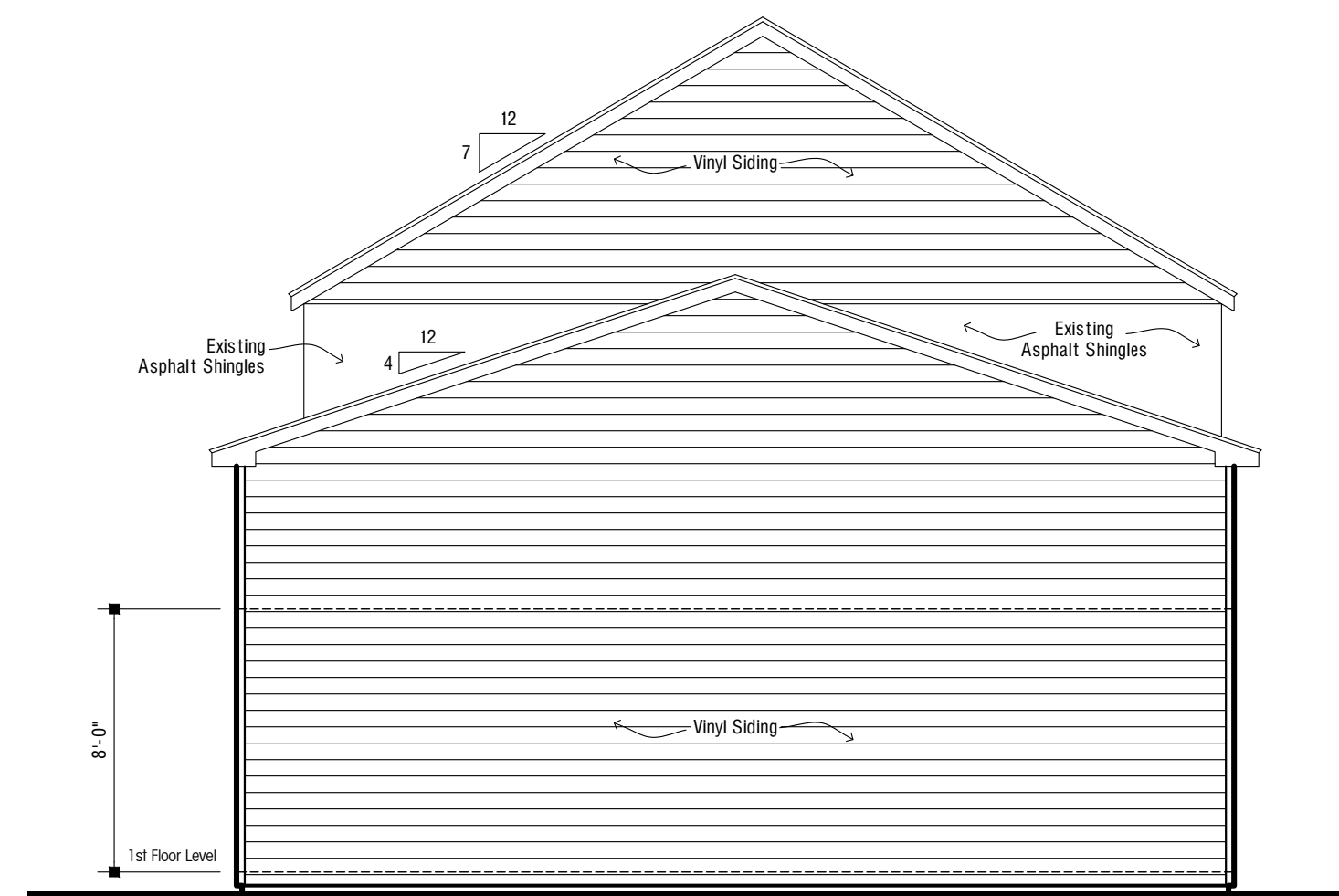
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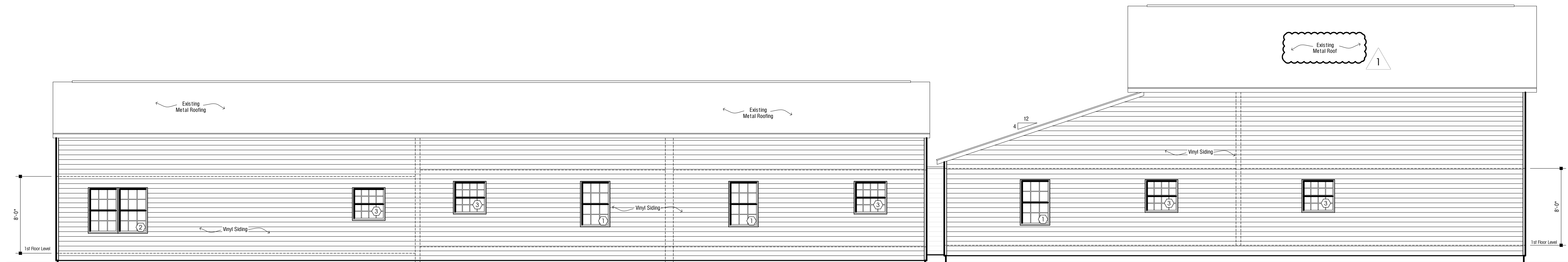
1 FRONT ELEVATION
3/16"=1'-0"



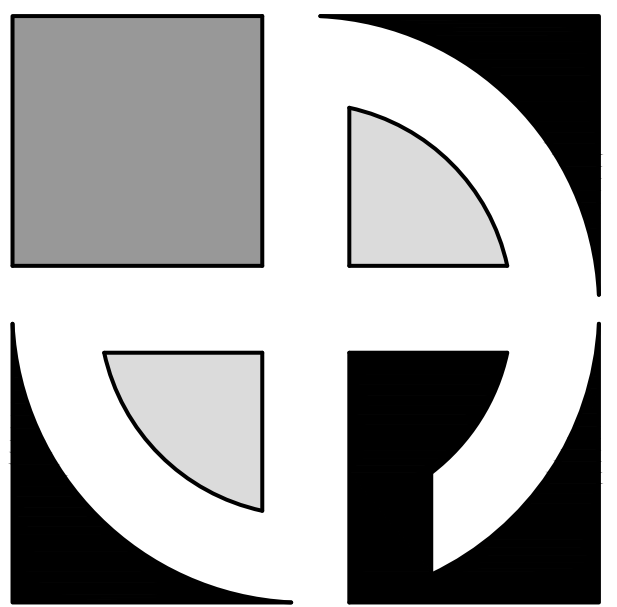
2 LEFT ELEVATION
3/16"=1'-0"



3 RIGHT ELEVATION
3/16"=1'-0"



4 REAR ELEVATION
3/16"=1'-0"



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CHECKED BY: M. Dean

SCALE:
3/16"= 1'-0"

ELEVATIONS
ALTERNATE

A6