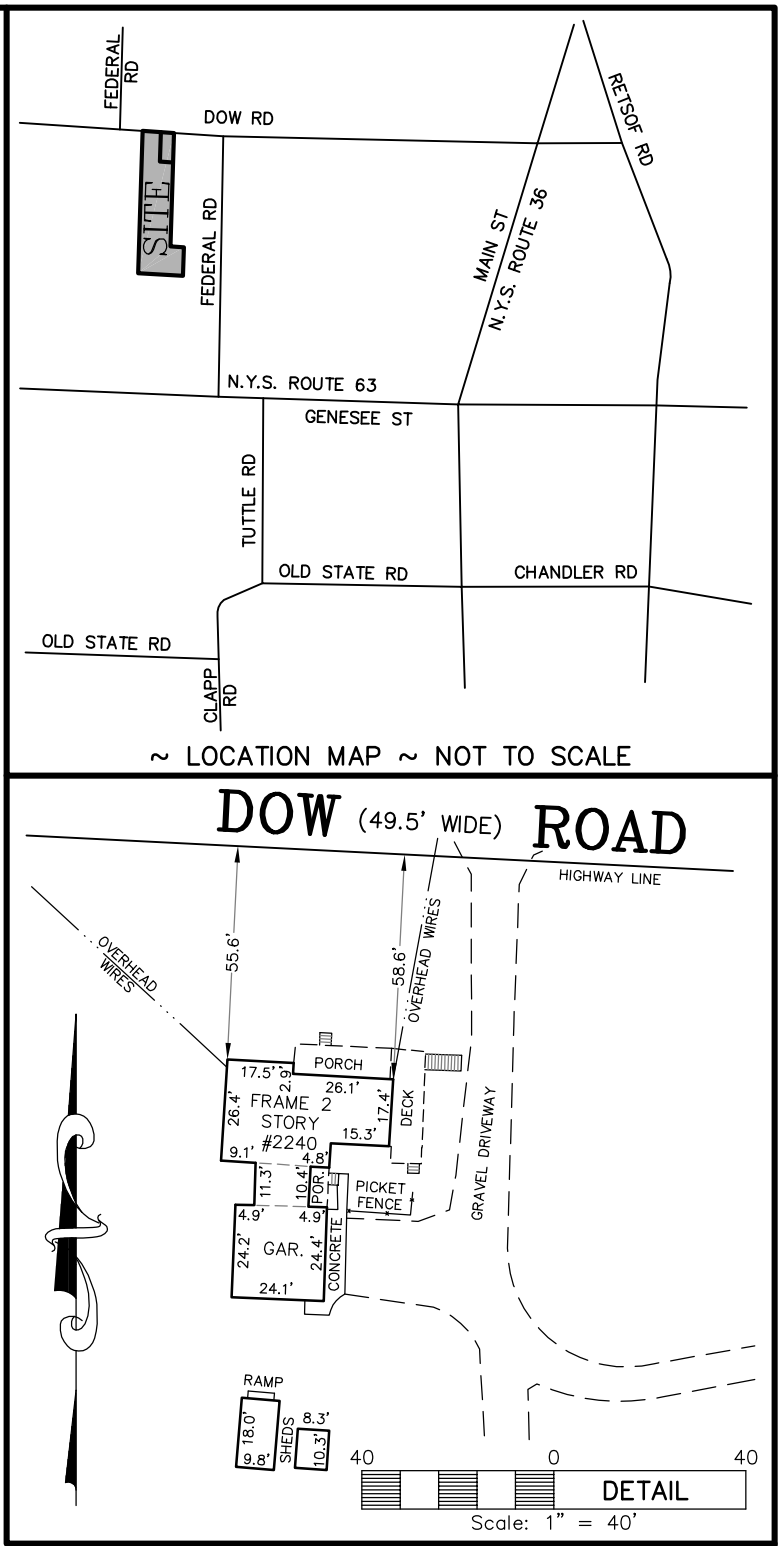
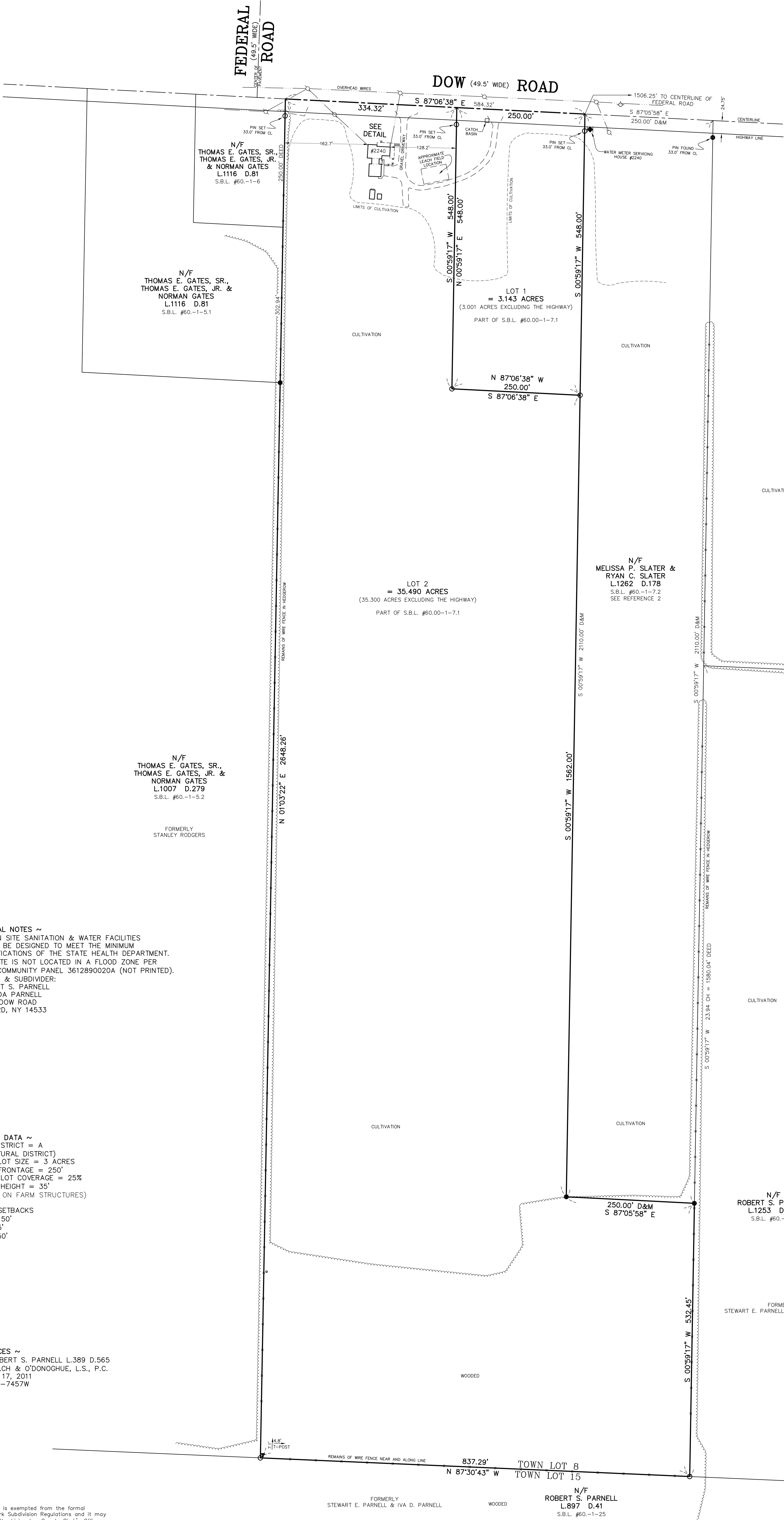


NYS WEST ZONE (NAD 83) GRID BEARINGS
BASED ON GPS OBSERVATIONS



- ~ GENERAL NOTES ~
- 1) ALL ON SITE SANITATION & WATER FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE HEALTH DEPARTMENT.
 - 2) THE SITE IS NOT LOCATED IN A FLOOD ZONE PER FIRM COMMUNITY PANEL 3612890020A (NOT PRINTED).
 - 3) OWNER & SUBDIVIDER:
ROBERT S. PARNELL
& LINDA PARNELL
2240 DOW ROAD
PIFFARD, NY 14533

~ ZONING DATA ~
ZONING DISTRICT = A
(AGRICULTURAL DISTRICT)
MINIMUM LOT SIZE = 3 ACRES
MINIMUM FRONTAGE = 250'
MAXIMUM LOT COVERAGE = 25%
MAXIMUM HEIGHT = 35'
(NO LIMIT ON FARM STRUCTURES)

MINIMUM SETBACKS
FRONT = 50'
SIDE = 15'
REAR = 50'

- ~ REFERENCES ~
- 1) DEED TO ROBERT S. PARNELL L.389 D.565
 - 2) MAP BY WELCH & O'DONOGHUE, L.S., P.C.
DATED MAY 17, 2011
JOB No. L11-7457W

NOTE: This map is exempted from the formal
Town of York Subdivision Regulations and it may
be filed in the Livingston County Clerk's Office.

Approved by the Planning Board of the Town of York

Joseph McIlroy - Planning Board Chairperson

Date _____

LaBella
Powered by partnership.

300 State Street, Suite 201
Rochester, NY 14614
585-454-6110
labellapc.com

NOTES:
1) UNAUTHORIZED ALTERATION OR
ADDITION TO THIS SURVEY MAP IS
A VIOLATION OF SECTION 7209
PROVISION 2 OF THE NEW YORK
STATE EDUCATION LAW.
2) THIS SURVEY WAS PREPARED
WITHOUT THE BENEFIT OF A
CURRENT ABSTRACT OF TITLE AND
IS SUBJECT TO ANY STATE OF
FACT THAT MAY BE REVEALED BY
AN EXAMINATION OF SUCH.

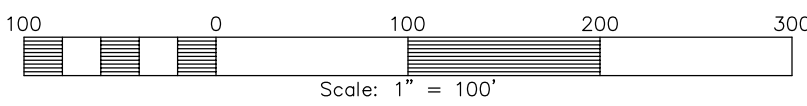
I HEREBY CERTIFY
THAT THIS MAP WAS MADE MARCH 4, 2026 FROM
NOTES OF A SURVEY COMPLETED MARCH 2, 2026.

KEVIN M. O'DONOGHUE, L.S. No. 49514



PARNELL-DOW ROAD SUBDIVISION
OF LAND BELONGING TO
ROBERT S. PARNELL
BEING PART OF LOT 8 OF DAVID FINLEY'S SUBDIVISION OF THE TUSCARORA TRACT
SITUATE IN THE
TOWN OF YORK
LIVINGSTON COUNTY, NEW YORK

○ = IRON PIN TO BE SET
● = IRON PIN/PIPE FOUND
⊙ = FIRE HYDRANT
⊕ = UTILITY POLE
D&M = DEED & MEASURED
M&M = MAP & MEASURED



DATE:
3-04-2026

PROJECT NUMBER:
2261622