

LEGEND

<u>LINETYPES</u>	<u>SYMBOLS</u>
Centerline _____ Property Line _____ Resub. Prop. Line _____ 100.00' _____ Easement Line _____ Existing Contour _____ 270 _____ Proposed Contour _____ 270 _____ Chain Link _____ Wood Fence _____ Guide Rail _____ Wire Fence _____ Overhead Wires _____ DIM _____ DIM _____ Gas Line _____ Water Line _____ Forcemain _____ Sanitary Sewer _____ SA _____ Storm Sewer _____ ST _____ Electric _____ E _____ Edge of Woods _____ Floodzone _____ Wetlands _____ Right-of-Way _____ R.O.W. _____ Landscape & Retaining Walls _____ Silt Fence _____ Drainage Flow _____ Sump Pump Discharge _____	Utility Pole _____ Water Gate Valve _____ Curb Box _____ Gas Valve _____ Utility Box _____ Transformer _____ Survey Monument _____ Mailbox _____ Sign _____ Iron pipe/rebar _____ Traffic Control M.H. _____ Cleanout _____ Catch basin _____ or _____ Fire hydrant _____ Signal span pole _____ Perc hole _____ Deep hole _____ Benchmark _____ End section ▷ Spot elev. x351.00' _____ Light pole _____ Well _____ Utility manhole _____ (U) Storm Sewer Manhole _____ Sanitary Sewer Manhole _____ Rebor (to be set) _____
<u>LINE STYLES</u>	<u>LABELS</u>
Feature to be removed (Gray Line) _____ Existing Utility (Light Line Weight) _____ Proposed Utility (Heavier Line Weight) _____	Record Map Info. " (R)" _____ Typical Style "Typ." _____ To Be Removed "TBR" _____ Proposed "Pr." _____

LOCATION MAP

NOT TO SCALE

Map showing the location of the site (indicated by a black square) within the Town of York. The map includes the following roads:

- Dow Rd
- Main St
- Federal Rd
- Femessee St
- Turtle Rd
- Main St
- Old State Rd
- Record Rd
- Chandler Rd
- River Rd
- Pearl Rd

A north arrow is shown in the upper left corner. The text "TOWN OF YORK" is at the bottom.

1. Tax Account Number: 61.-1-51
2. Owner: Sara Puccia & William Sager
3. Site address: 2727 Genesee Street
4. Total Area: 71,345± sq.ft. 1.638± acres
5. This project is located in Lot 17, Tuscarora Tract, Hamlet of Retsof, Town of York, County of Livingston, State of New York.
6. This project is located within Zone C according to Flood Insurance Rate Map Number 361289 0023 A, dated January 20, 1982.
7. Grading Easement Required along North & East side of site
8. All signage to comply with local code

1. This topographic survey was prepared from notes of an Instrument Survey completed on 11/12/24 by Landtech Surveying & Planning, PLLC.

2. Site benchmark; mag nail in UP NM2759 Elevation=750.88
3. Liber 1195 of Deeds, Page 127.
4. Liber 1293 of Deeds, Page 128.
5. The vertical datum is referenced to The North American Vertical Datum of 1988 (NAVD 88)

Commercial Zoning District		<u>Code</u>	<u>Proposed</u>
Min	lot area	40,000 sq.ft.	ex 17,345 sq.ft.
Min	lot width	150 feet	ex 350.25 feet
Min	front setback	50 feet	52.3 feet
Min	side setback/buffer	25 feet	36.5 feet
Min	rear residential lot	45 feet	35.5 feet
Min	rear setback	25 feet	n/a
Min	from residential	50 feet	26.6 feet
Max	building height	35	less than 35
Max	lot coverage	70 percent	76 percent

1. 36.5' side instead of the required 50' setback/buffer from residential district
2. 26.6' rear instead of the required 50' setback/buffer from residential district
3. 76 percent lot coverage instead of the required 70 percent

1. NUMBER OF EXISTING PLAZA PARKING SPACES=24
2. PARKING SPACES REQUIRED FOR PIZZA SHOP: 2 PER 1,000 S.F.=4 SPACES.
3. PARKING SPACES REQUIRED FOR LIQUOR STORE: 3 PER 1,000 S.F.=8 SPACES.
4. PARKING SPACES REQUIRED FOR STORAGE SPACE: 3 PER 1,000 S.F.=8 SPACES.

TOTAL NUMBER OF PARKING SPACES REQUIRED FOR THIS PROJECT SITE=20

TOTAL NUMBER OF PARKING SPACES PROVIDED=21 + MISC. INFORMAL SPACES AT PROPOSED SELF-STORAGE BUILDING

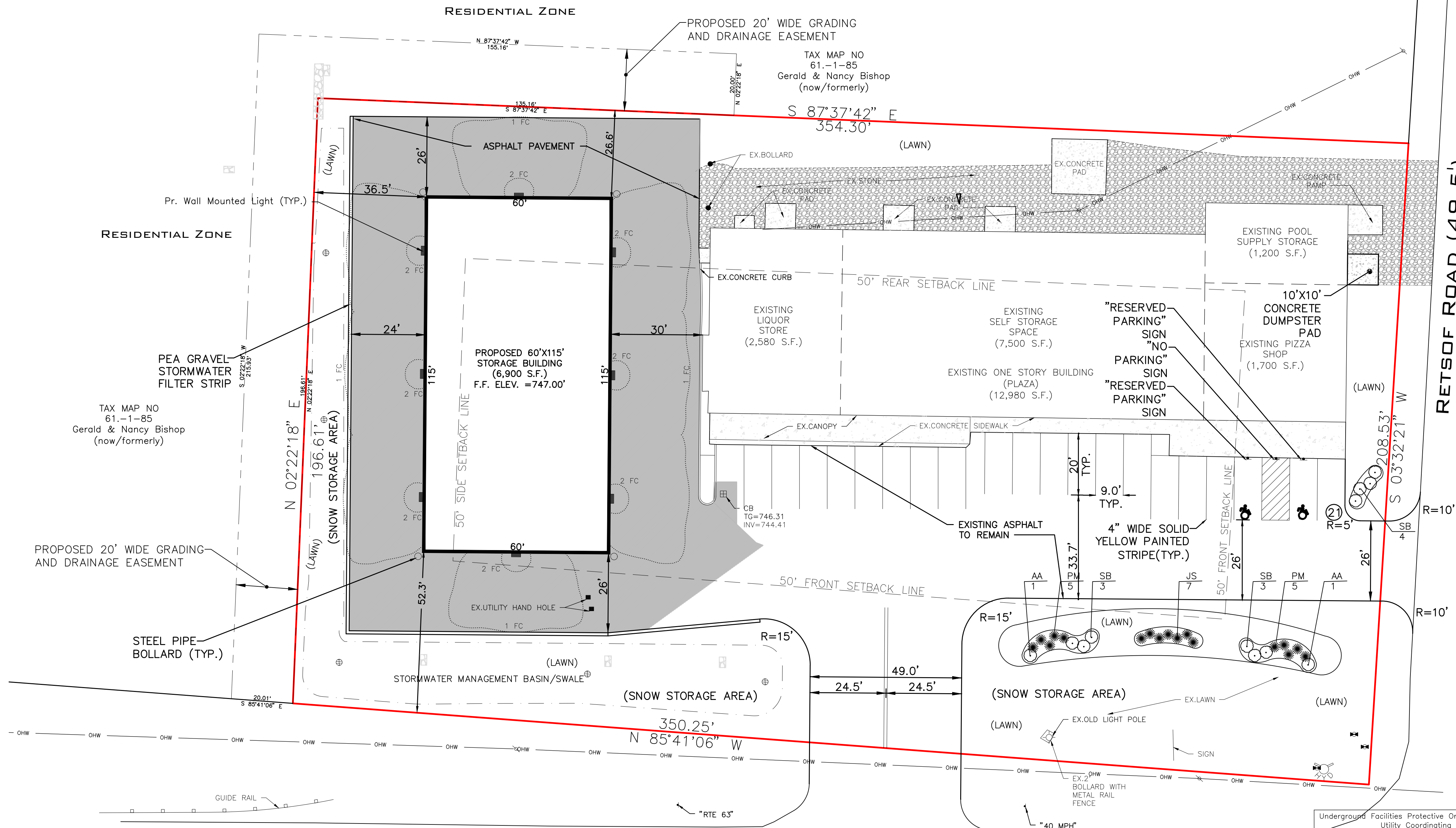
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PLANT SCHEDULE (OR APPROVED EQUIVALENTS)

Key	Plant Name	Quan.	Size	Root	Remarks
JS	Juniperus sabinu "Broadmoor" Broadmoor Andorra Juniper	7	3 gal.	Cont.	4' O.C.
SB	Spiraea x bumalda "Gold Mound" Gold Mound Spiraea	10	3 gal.	Cont.	6' O.C.
PM	Pinus mugho Mugho Pine	10	3 gal.	Cont.	4' O.C.
AA	Aronia Arbutifolia Brilliant Red Chokeberry	2	3 gal.	Cont.	

1. All planting beds shall have a minimum of 15" depth of clean topsoil.
2. Islands shall be raised 12" in the center.
3. All planting beds shall be covered with Densit Pro 5 weed barrier after soil has been fine graded, a 3" minimum compacted shredded hardwood bark mulch. Apply 100 lbs/acre.
4. Upon completion and acceptance of the landscaping, a two (2) year Maintenance Guarantee is required. Any proposed deviation to this plan must first be reviewed/approved by the Planning Board Chairman and the Director of Engineering/Planning prior to the installation of these proposed changes.
5. The seed mix shall be: 10% min. deer resistant topsoil, seeded with a mix of Kentucky bluegrass (40%), Pennann red fescue (35%), and Penanne perennial ryegrass (25%) at a rate of 250 lbs/acre.



Underground Facilities Protective Organization
Utility Coordinating Committee

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1 800 862 7062

PLANNING BOARD CHAIR	DATE
----------------------	------

HIGHWAY SUPERINTENDENT _____ DATE _____

TOWN ENGINEER _____ DATE _____

CODE ENFORCEMENT OFFICER _____ DATE _____

GENESEE STREET (WIDTH VARIES) NYS ROUTE 63

FINAL

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SURVEYING & PLANNING P.L.L.C.
11105 RIDGEWAY AVE - ROCHESTER, NY - 14615
PHONE (585) 442-9902 - INFO@LANDTECHNY.COM

2727 GENESEE ST.

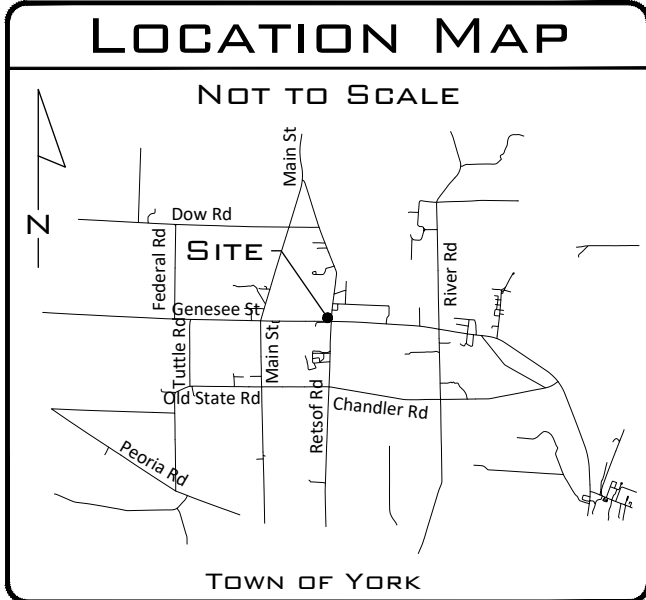
TOWN LOT 17, TUSCARORA TRACT, HAN
OF RETSOFF, TOWN OF YORK, COUNTY
LIVINGSTON, STATE OF NEW YORK

SITE PLAN

SHEET 1 OF 5

LEGEND

LINETYPES	SYMBOLS
Centerline Property Line Resub. Prop. Line 100.00' Easement Line Existing Contour 270 Proposed Contour 270 Chain Link Fence Wood Fence Guide Rail Wire Fence Overhead Wires DM DM Gas Line Water Line Forcemain Sanitary Sewer Storm Sewer Electric Edge of Woods Floodzone Wetlands Right-of-Way R.O.W. Landscaping & Retaining Walls Silt Fence Drainage Flow Sump Pump Discharge	Utility Pole Water Gate Valve Curb Box Gas Valve Utility Box Transformer Survey Monument Mailbox Sign Iron pipe/rebar Traffic Control M.H. Cleanout Catch basin Fire hydrant Storm span pole Perc hole Deep hole Benchmark End section Spot elev. x351.00' Light pole Well Utility manhole Storm Sewer Manhole Sanitary Sewer Manhole Rebar (to be set)
LINE STYLES	LABELS
Feature to be removed (Gray Line) Existing Utility (Light Line Weight) Proposed Utility (Heavier Line Weight)	Record Map Info. "(R)" Typical Style "Typ." To Be Removed "TBR" Proposed "Pr."



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1. Obtain necessary permits and contact Dig Safety New York 811 at least 3 business days prior to construction for a utility stakeout.
2. Hold a pre-construction meeting prior to commencement of construction.
3. Install perimeter erosion control and the stabilized construction entrance as specified on the plans.
4. Grade stormwater basin/swale area to within 24" of bottom elevations and utilize as sedimentation basin during construction. Do not compact soils within basin area.
5. Strip topsoil from building and pavement areas and stockpile as shown.
6. Topsoil to be used to fill in low areas and/or topsoil surplus topsoil immediately.
7. Grade the site & install stone pavement base.
7. Install storm sewer system and utility services. Install stone pavement base over the remaining parking area.
8. Seed, fertilize, mulch, and water lawn areas in accordance with supplier's specifications.
9. Maintain erosion control as specified on plans. All erosion and sediment control practices must be inspected weekly by a qualified professional. Needed repairs must be made immediately.
10. Once up-gradient areas are stabilized, excavate sediment and complete installation of the infiltration basin.
11. After the site has achieved final stabilization and all stormwater management practices are installed, remove all temporary erosion control measures with approval from the Town of York.
12. The stormwater basin/swale must be cleaned out when the level of sediment reaches 1'.
13. Sediment must be removed from the check dams and block and gravel inlet protection devices when storage capacity has been approximately 50% filled. Gravel will be cleaned or replaced when the sediment pool no longer drains properly.
14. Sediment must be removed from behind the sediment fence when it becomes about 0.5 ft deep at the fence. The sediment fence must be repaired as necessary to maintain a barrier between disturbance and downslope areas.
15. Seed and areas must be stabilized, re-seeded as necessary, and mulched according to manufacturer's specifications to achieve vigorous, dense vegetative cover. If areas to be seeded have been compacted they should be disked or raked prior to placement of seed to allow greater contact with soil and provide greater opportunity for growth.
16. In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within 14 days from the date the soil disturbance activity ceased.
17. The Stormwater Management Basin/Swale should not be installed until as late in construction as possible, and that the basin/swale must be fully encompassed by silt fence until all contributing drainage areas, and the basin/swale itself, have achieved final stabilization.

1. Temporary erosion/siltation control is to be provided, maintained and removed by owner and/or developer.
2. Immediately after grading all swales are to be seeded with grass & fiber fabric siltation barrier is to be installed. Stabilization measures (temp. or permanent seeding, mulching, geotextiles, etc.)
3. Must be initiated within 14 days where construction activities have temporarily or permanently ceased & are not expected to resume within 21 days.
4. All existing and new catch basins and field inlets are to be provided with temporary inlet protection. See drawing Sheet 4 of 5 for EXCAVATED INLET PROTECTION DETAIL.
5. Topsoil Stockpile Notes:

The operator shall initiate stabilization measures as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. This requirement does not apply in the following instances:

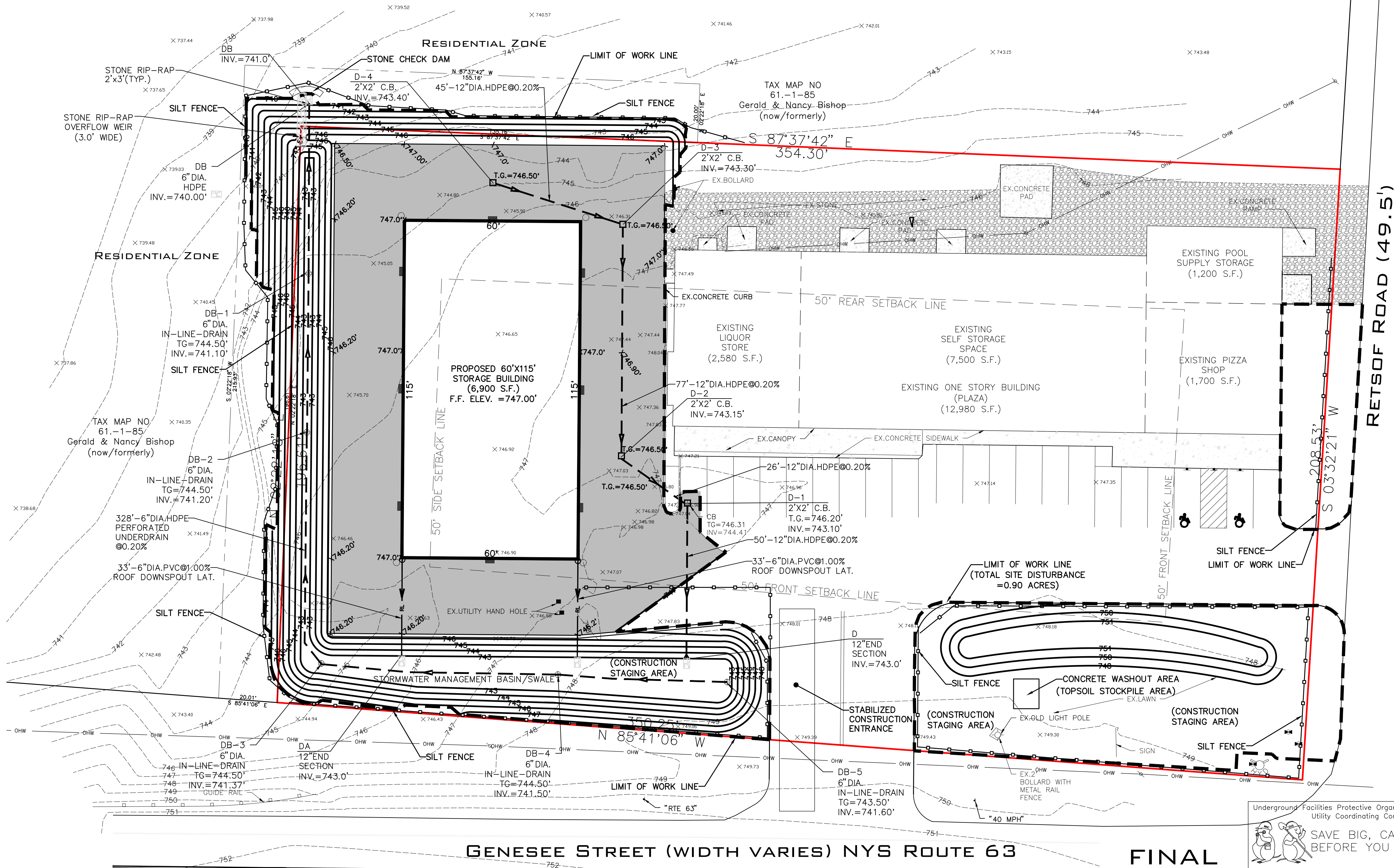
- a. Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceased is precluded by snow cover or frozen ground conditions, stabilization measures shall be initiated as soon as practicable
- b. Where construction activity on a portion of the site is temporarily ceased, and earth-disturbing activities will be resumed within twenty-one (21) days, temporary stabilization measures need not be initiated on that portion of the site.

Sediment shall be removed from sediment traps or sediment ponds whenever their capacity has been reduced by fifty (50) percent from the design capacity.

1. All previous areas (down & landscaped areas) must be restored to pre-development conditions in accordance with the Soil Restoration Requirements, which are listed in the appendix of the Stormwater Pollution Prevention Plan.
2. Lawn areas are to be seeded with a mix of Kentucky bluegrass (40%), Pennlawn red fescue (35%), and Pennfine perennial ryegrass (25%) at a rate of 250 lbs./acre. Paper mulch to be applied at 1350 lbs/acre with a tackifier at 60 lbs./acre. A balanced fertilizer must be applied at 250 lbs./acre.
3. All other areas must be watered, fertilized, re-seeded as necessary, and mulched according to manufacturer's specifications to maintain a vigorous, dense vegetative cover.
4. If temporary vegetative cover is to be used, a mix of Annual ryegrass (50%) and Perennial ryegrass (50%) must be applied at a rate of 65 lbs./acre with paper mulch at 1200 lbs/acre and a tackifier at 60 lbs./acre.
5. All slopes 4:1 or steeper are to be seeded with a mix of:

1. Strip topsoil and stockpile where shown. Install silt fencing along backside of stockpile and allow for access on the front side. Once topsoil restoration is complete onsite, remove remaining topsoil from site.
2. All topsoil under building and pavement shall be removed and replaced with structural fill compacted to 95% MDD per Modified Proctor Test.

PLANNING BOARD CHAIR	DATE
HIGHWAY SUPERINTENDENT	DATE
TOWN ENGINEER	DATE
CODE ENFORCEMENT OFFICER	DATE



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Utility Coordinating Committee

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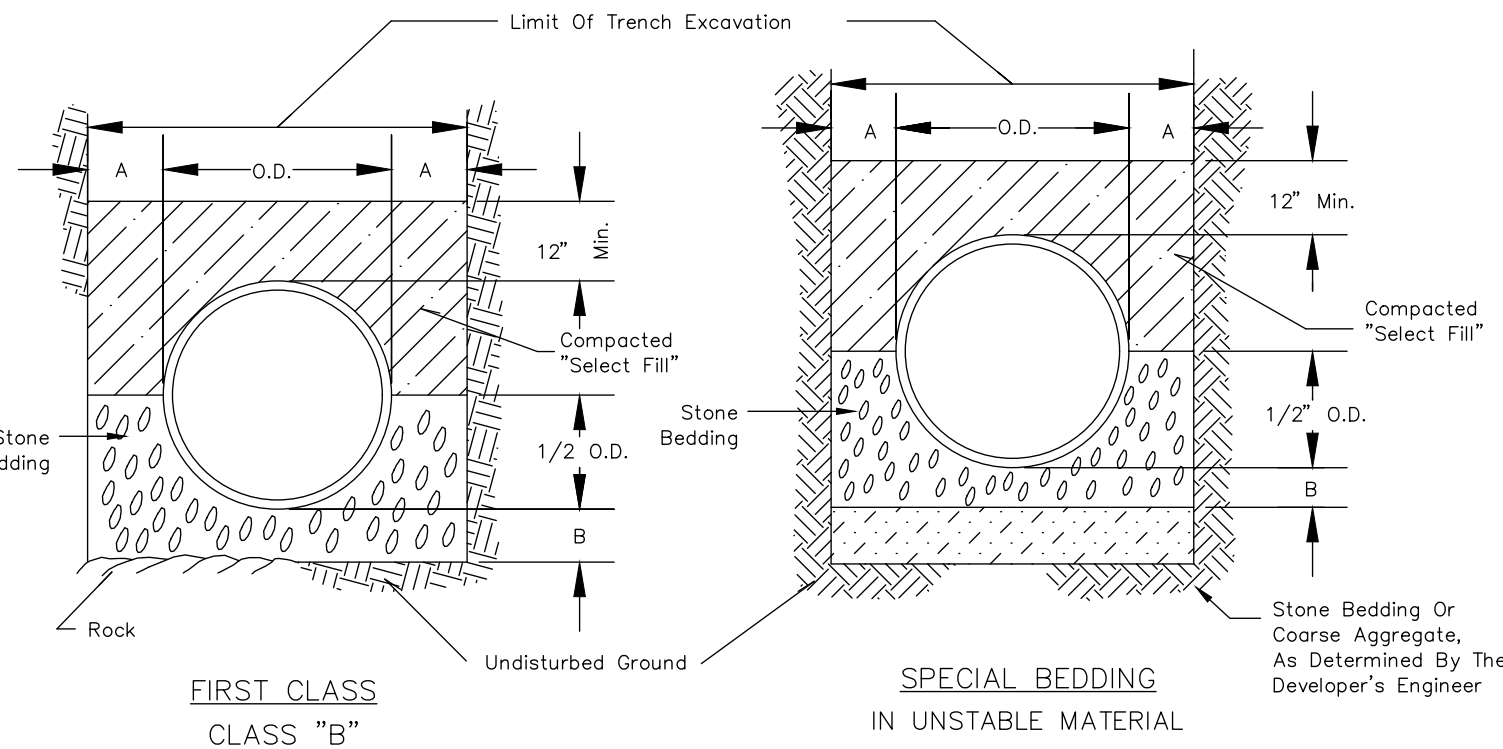


SCALE: 1"=20'			
DATE: 9/12/25			
DRAWN BY: JWH			
CHECKED BY: JHS			
PROJECT NUMBER:	10-2-25	REVISED PER PLANNING BOARD COMMENTS	JWH
25124			

2727 GENESEE ST
TOWN LOT 17, TUSCARORA TRACT, HAMLET
OF RETSOF, TOWN OF YORK, COUNTY OF
LIVINGSTON, STATE OF NEW YORK

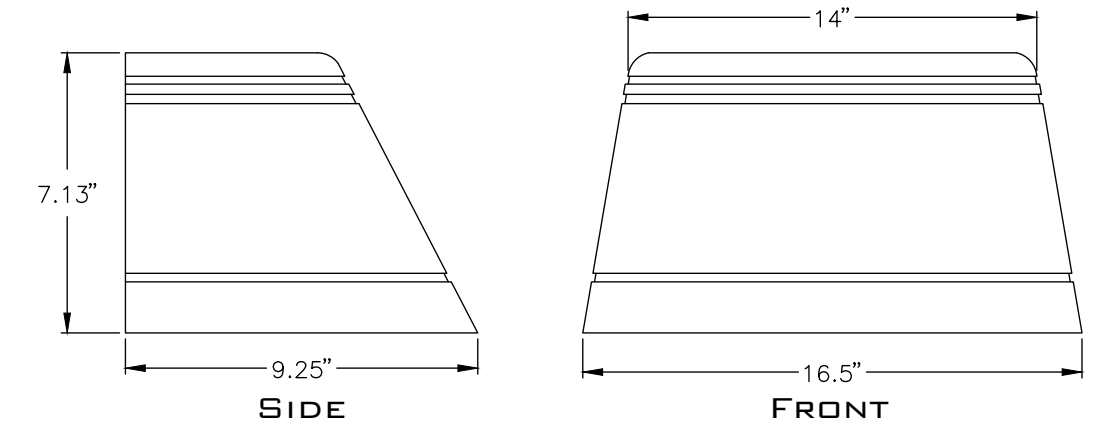
**GRADING, DRAINAGE &
EROSION CONTROL PLAN**

SHEET 3 OF 5



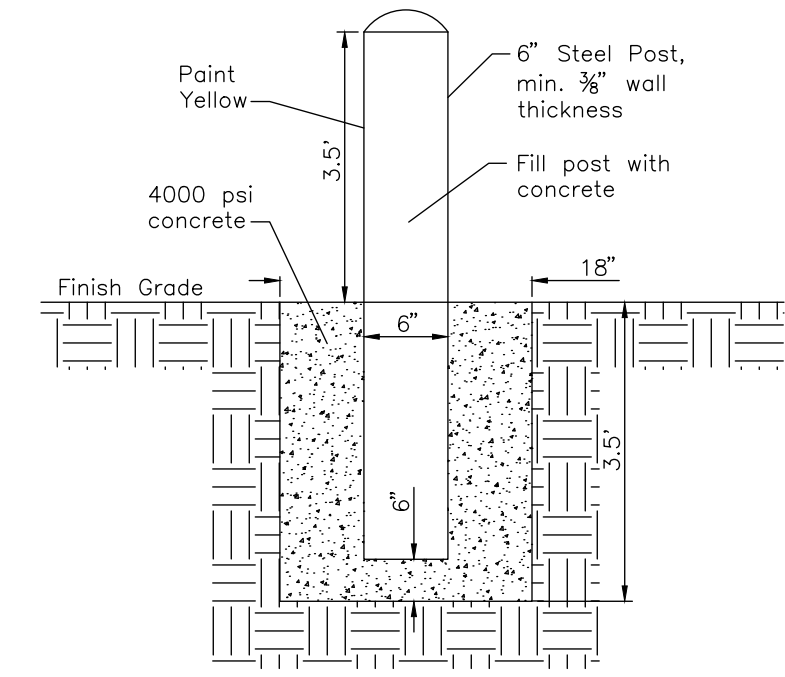
- | PIPE DIA. | DIM. A | DIM. B |
|------------|--------|--------|
| UP TO 18" | 1.0' | 6" |
| 21" TO 36" | 1.5' | 9" |
| OVER 36" | 1.5' | 12" |
- Trench backfill shall be as required by the highway owner.
 - Select fill shall be sand, gravel, and similar material which shall be free from clay, loam, organic material, debris, frozen material and shall contain only small amounts of stone, pebbles or lumps over one inch in greatest dimension but none over two inches in greatest dimension.
 - Stone bedding shall mean approved imported aggregate meeting the requirements of the New York State Department of Transportation, Standard Specification, "Crushed Stone". Primary size 1 or a mixture of primary sizes 1 and 2 washed.
 - Coarse aggregate shall mean approved imported aggregate meeting the requirements of the New York State Department of Transportation, Standard Specification, "Crushed Stone". Primary size 3 and 4.
 - This figure applies to sanitary, storm and combined mainline and lateral pipe installations as well as forcemains.

PIPE BEDDING DETAIL
NOT TO SCALE

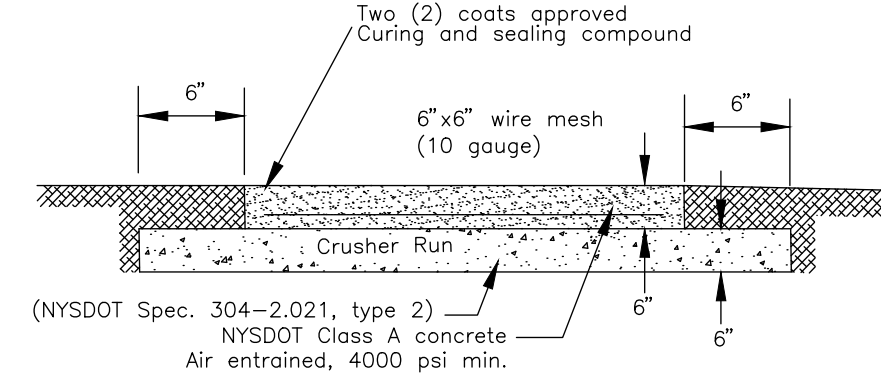


WALL MOUNTED FIXTURE DETAIL
NOT TO SCALE

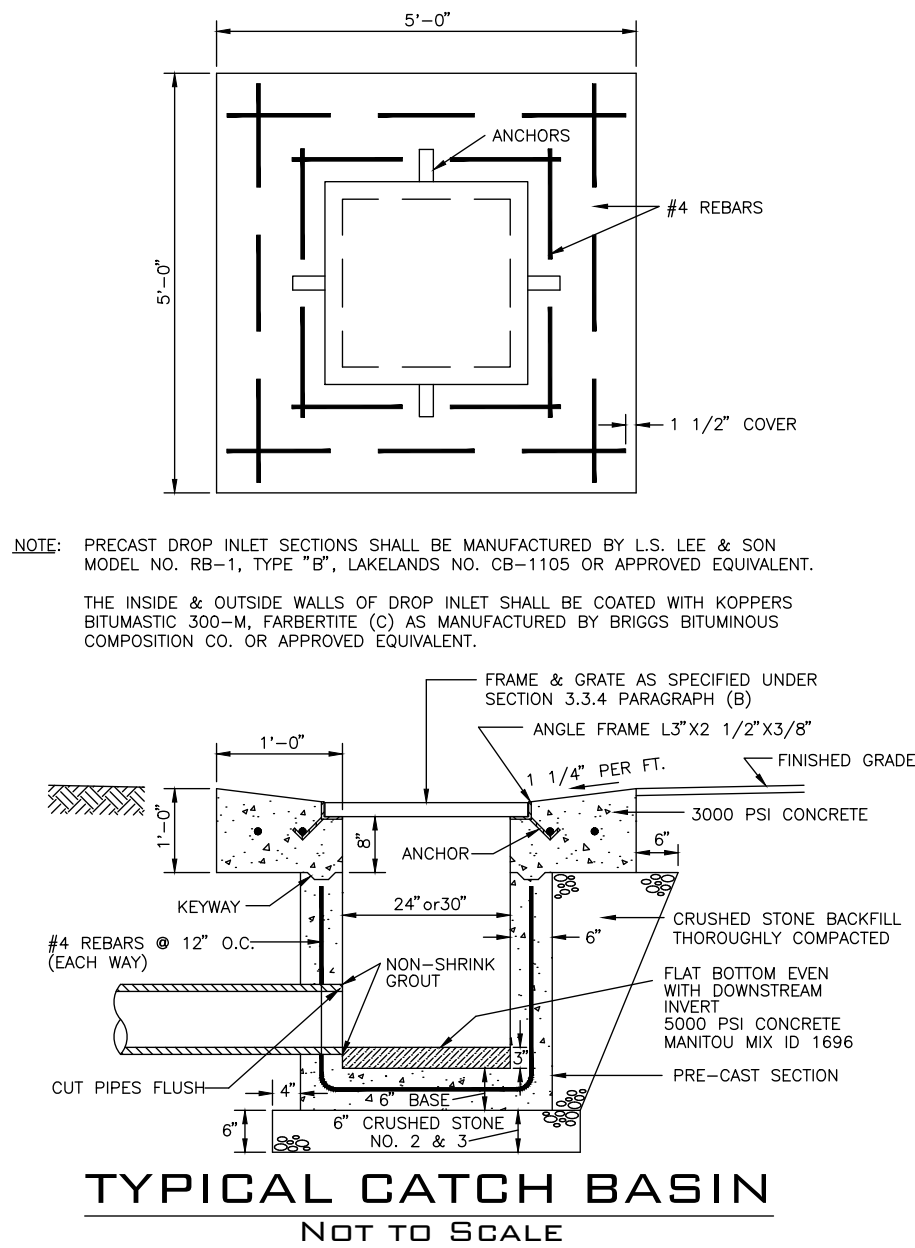
LUMINAIRE SCHEDULE		
Qty	Label	Description
16	Wall Mounted	Spaulding Lighting, TRP LED wallpack
OR EQUIVALENT		Ordering Information
		TRP-30L-5K-x-4



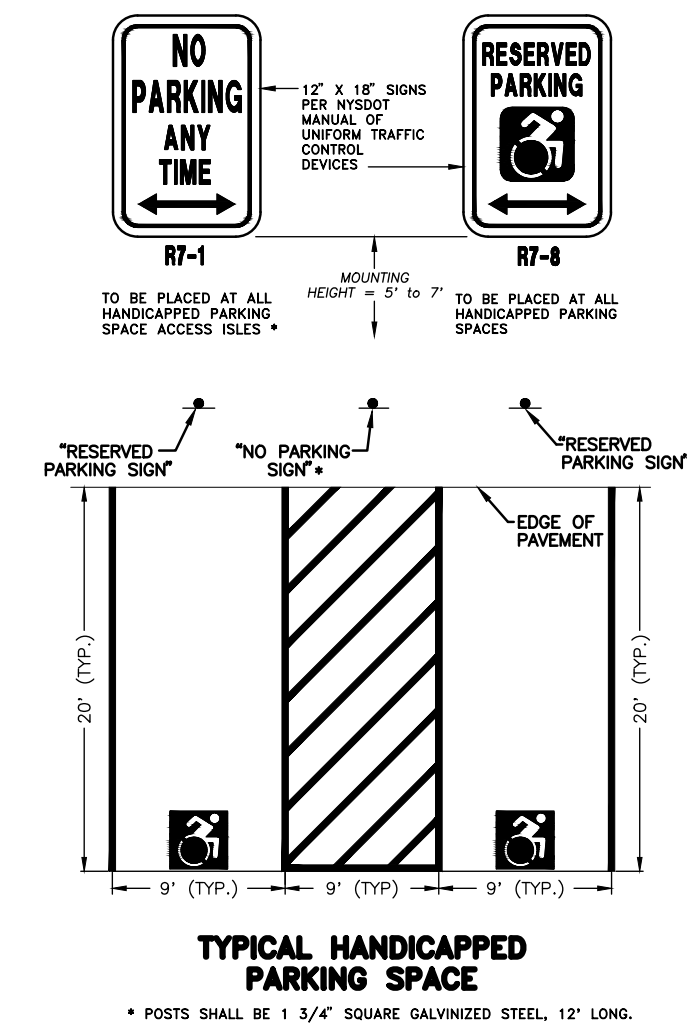
BOLLARD DETAIL
NOT TO SCALE



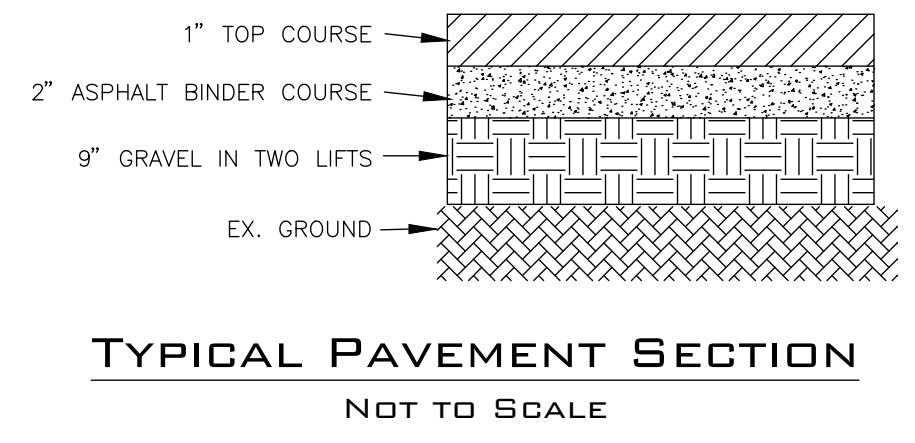
DUMPSTER PAD DETAIL
NOT TO SCALE



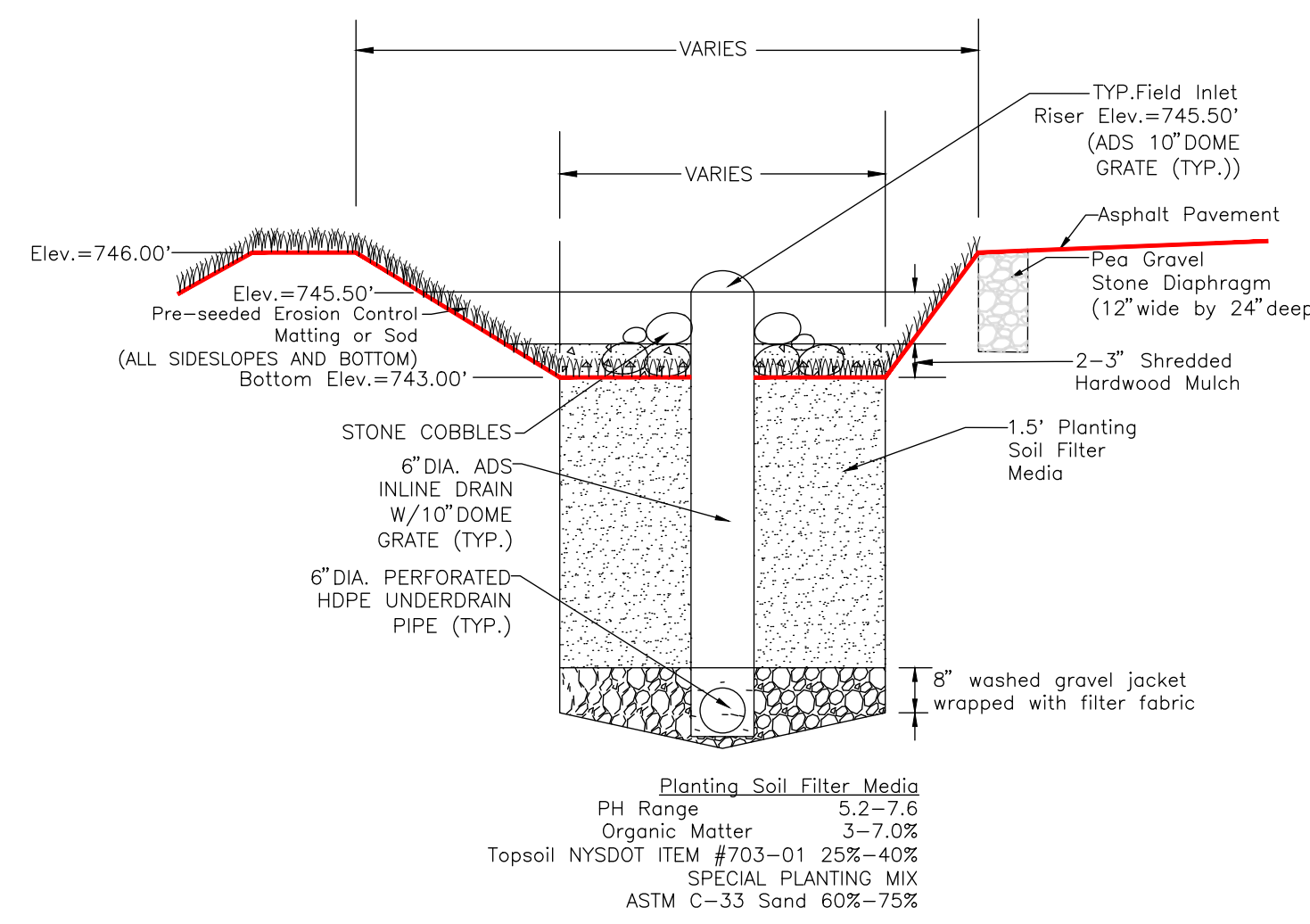
TYPICAL CATCH BASIN
NOT TO SCALE



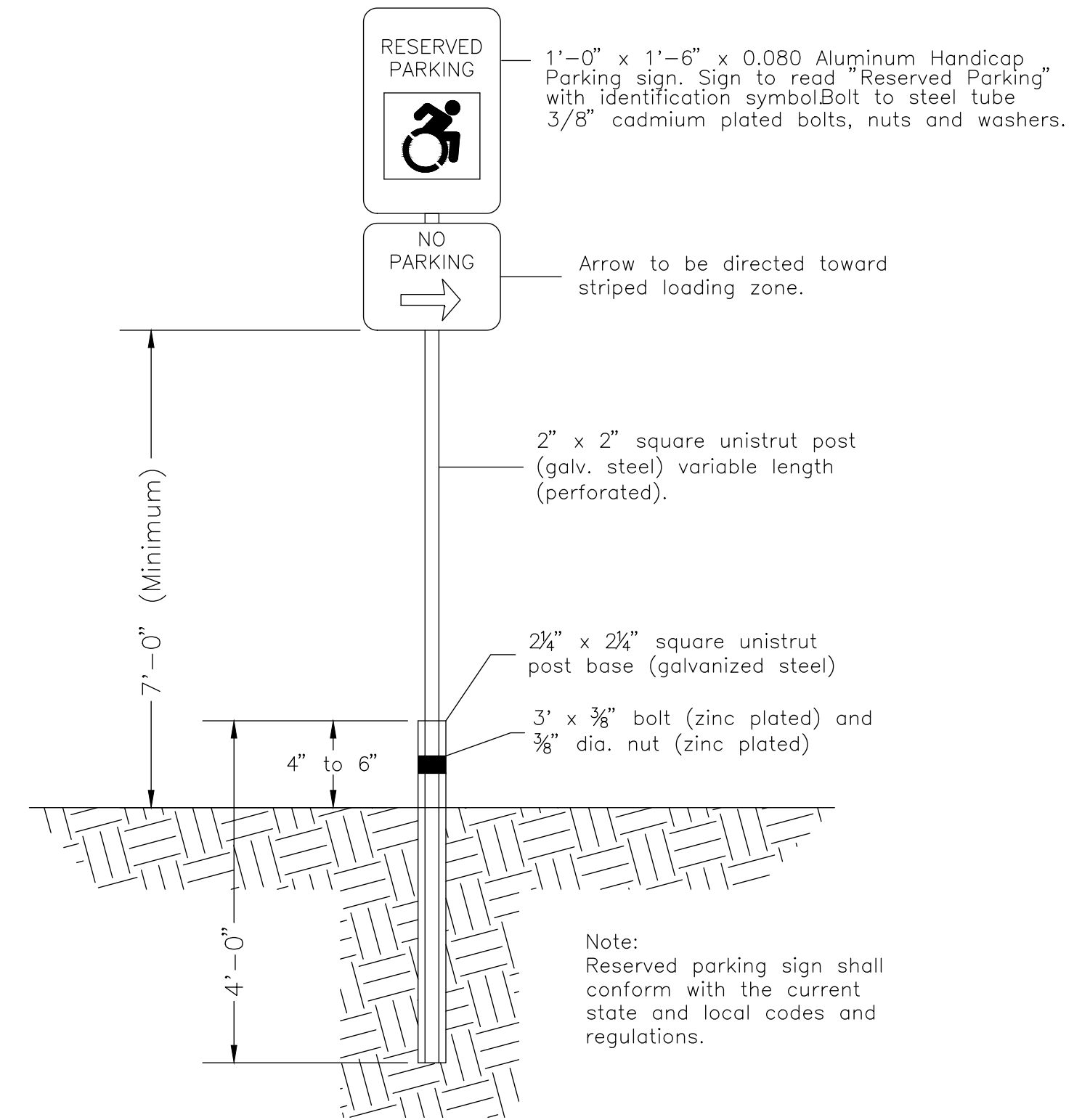
* POSTS SHALL BE 1 3/4" SQUARE GALVANIZED STEEL, 12' LONG.



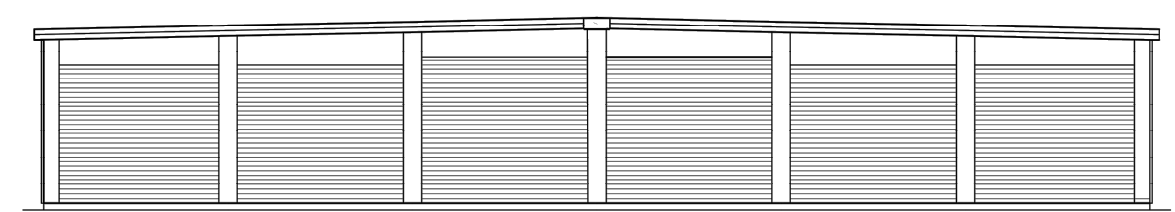
TYPICAL PAVEMENT SECTION
NOT TO SCALE



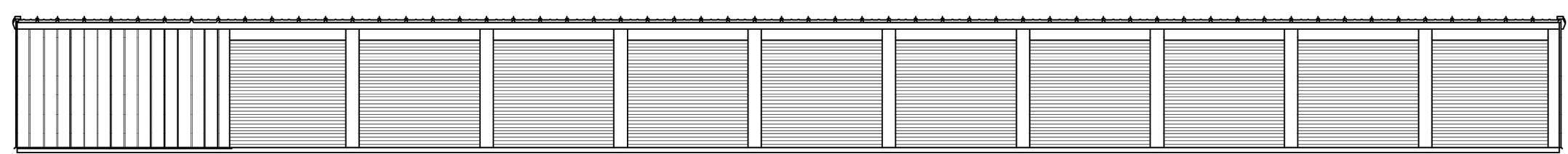
STORMWATER BASIN/SWALE SECTION
NOT TO SCALE



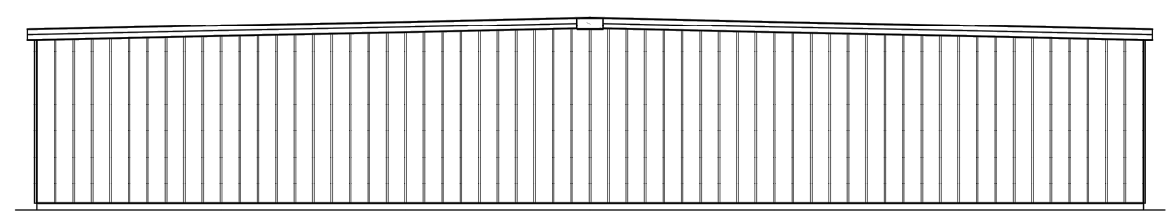
RESERVED PARKING SIGN DETAIL
NOT TO SCALE
SIGNS TO BE INSTALLED WITHIN BOLLARDS



END WALL ELEVATION



SIDE WALL ELEVATION



END WALL ELEVATION

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BUILDING ELEVATIONS
NOT TO SCALE

1/8"=1'-0"

FINAL

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JWH
Name
10-2-25
REVISED PER PLANNING BOARD COMMENTS
JWH
Name
25124
REVISIONS
Date

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DETAILS 2

SHEET 5 OF 5